

McDONALD'S RESTAURANT

FINAL ENGINEERING PLANS

FOR

17171 HARLEM AVENUE
TINLEY PARK, ILLINOIS

COOK COUNTY

SITE CODE: 012-0262

BENCHMARK / CONTROL

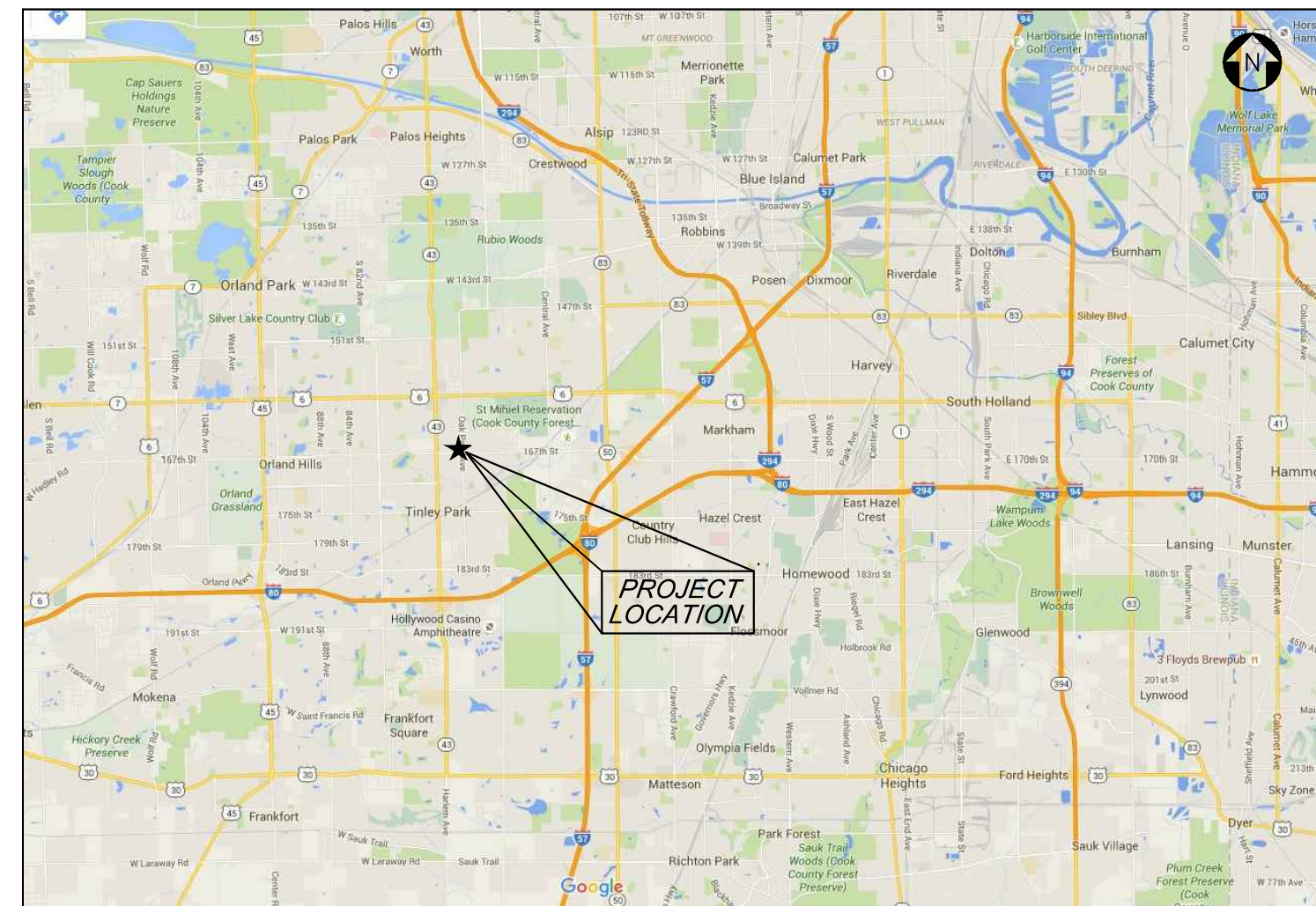
SOURCE: BENCHMARKS ESTABLISH VIA TRIMBLE VRS NETWORK. DATUM IS NAVD88, GROUND SCALE FACTOR: 1.0000248191

NGS DATA SHEET CHECK:
PID: ME1944
DESC.: BENCHMARK DISK SET IN CONCRETE. SEE DATA SHEET FOR DIRECTIONS.
ELEV.: 696.68 (RECORD) 696.73 (MEAS.)

SITE:
STATION DESIGNATION: SBM #1
ESTABLISHED BY: V3 COMPANIES
DATE: 03/16/13

ELEVATION: 705.20 (MEASURED)
DATUM: NAVD88
DESCRIPTION: NAIL IN THE NORTH SIDE OF POWER POLE 66.6' SOUTHEASTERLY FROM SOUTHERLY MOST SOUTHEAST CORNER OF MCDONALD'S BUILDING.

STATION DESIGNATION: SBM #2
ESTABLISHED BY: V3 COMPANIES
DATE: 03/16/13
ELEVATION: 705.85 (MEASURED)
DATUM: NAVD88
DESCRIPTION: EAST FLANGE BOLT OF FIRE HYDRANT ON THE EAST SIDE OF HARLEM AVENUE, NORTH OF THE NORTHERLY ENTRANCE TO MCDONALD'S SITE.



LOCATION MAP
NO SCALE

DEVELOPER

McDonald's USA, LLC
711 Jorie Boulevard, 3rd Floor
Oak Brook, Illinois 60523
630 750 4371
Contact: Chris Stepp

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

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PROJECT TEAM	ARCHITECT	LANDSCAPE ARCHITECT	ENGINEER	SURVEYOR	PHOTOMETRIC DESIGN	UTILITIES	ELECTRIC	WATER & SEWER	SANITARY	APPROVAL / REVIEW
	LINGLE DESIGN GROUP, LLC 158 WEST MAIN STREET LENA, ILLINOIS 61048 815 369 9155 CONTACT: JOE KERCHNER	DANIEL WEINBACH + PARTNERS, LTD. 53 WEST JACKSON BOULEVARD, STE. 250 CHICAGO, ILLINOIS 60604 312 427 2888 CONTACT: WENDY SCHULENBERG	V3 COMPANIES 7325 JANES AVENUE WOODRIDGE, ILLINOIS 60517 630 724 9200 CONTACT: MATT NICKELS	V3 COMPANIES 7325 JANES AVENUE WOODRIDGE, ILLINOIS 60517 630 724 9200 CONTACT: CHUCK BARTOSZ, PLS	N/A		N/A	N/A	N/A	VILLAGE OF TINLEY PARK 16250 S OAK PARK AVENUE TINLEY PARK, ILLINOIS 60477 708 444-5100
										IDOT - REGION 1 201 WEST CENTER COURT SCHAUMBURG, ILLINOIS 60196 847 705 4401

Call Before You Dig
JULIE
800.892.0123
Call 48 hours before you dig

Joint Utility Locating Information for Excavators

REV	DATE	DESCRIPTION
1	2-02-16	REVISED PER ARCH BASE FILE
2	3-21-17	VILLAGE COMMENTS

PREPARED BY:
V3 Companies
7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
www.v3co.com

PREPARED FOR:
M. McDonald's USA, LLC

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DRAWN BY	BID	STD ISSUE DATE	REVIEWED BY	DATE ISSUED
		07-29-16	MRV	07-29-16

TITLE SHEET
DESCRIPTION: MCDONALD'S - TINLEY PARK, ILLINOIS
SITE ID: 012-0262
SITE ADDRESS: 17171 HARLEM AVE., TINLEY PARK

SHEET NO. C-0.0
TITLE SHEET

STRUCTURAL ENGINEER'S CERTIFICATION

I, CHRISTOPHER J. BURKE, A LICENSED STRUCTURAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS SUBMISSION, OF SHEETS SS-1.0 THROUGH SS-1.1 WAS PREPARED ON BEHALF OF MCDONALD'S USA, LLC BY V3 COMPANIES UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS _____ DAY OF _____, A.D., 2017.

ILLINOIS LICENSED STRUCTURAL ENGINEER 081-005134
MY LICENSE EXPIRES ON NOVEMBER 30, 2018

ILLINOIS LICENSED DESIGN FIRM NO. 184-000902

PROFESSIONAL ENGINEER'S CERTIFICATION

I, ANDREW M. UTTAN, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS SUBMISSION, OF SHEETS C-0.0 THROUGH C-7.0 WAS PREPARED ON BEHALF OF MCDONALD'S USA, LLC BY V3 COMPANIES UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS _____ DAY OF _____, A.D., 2017.

ILLINOIS LICENSED PROFESSIONAL ENGINEER 062-059543
MY LICENSE EXPIRES ON NOVEMBER 30, 2017

ILLINOIS LICENSED DESIGN FIRM NO. 184-000902

- EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:

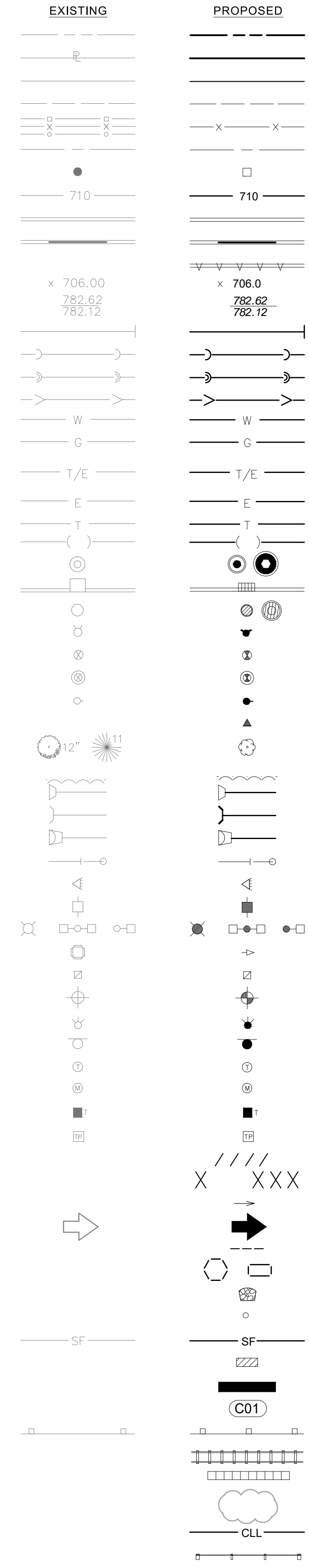
V3 COMPANIES OF ILLINOIS LTD.
7325 JANES AVENUE
WOODRIDGE, IL 60517

COPIES OF THE SURVEY ARE AVAILABLE FROM THE SURVEYOR. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.
- ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.
- CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.
- ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
- THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS V3 COMPANIES OF ILLINOIS LTD., THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER WHILE ACTING WITHIN THE SCOPE OF THEIR DUTIES FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, HIS AGENTS, THE ENGINEER, HIS EMPLOYEES AND AGENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE OWNER OF THE ROADWAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION. BARRICADES AND WARNING SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS. ALL TRAFFIC CONTROL WORK SHALL BE DONE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
- EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:
 - "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS," AS PREPARED BY IDOT, LATEST EDITION.
 - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION.
 - ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS," AS PUBLISHED BY THE IEPA, LATEST EDITION.
 - THE LATEST EDITIONS OF THE MUNICIPAL CODE AND STANDARDS OF THE VILLAGE OF TINLEY PARK.
 - THE NATIONAL ELECTRIC CODE.
 - THE ILLINOIS ACCESSIBILITY CODE.
 - CLEAN CONSTRUCTION OR DEMOLITION DEBRIS (CCDD) REQUIREMENTS AS PUBLISHED BY THE IEPA. TESTING OF SOILS BEING EXPORTED FROM THE SITE AND APPROPRIATE DISPOSAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

IN THE EVENT OF CONFLICTING SPECIFICATIONS WITH REGARD TO SITEWORK ISSUES DESIGNED BY THE ENGINEER, THE MORE STRINGENT REQUIREMENT SHALL GOVERN
- THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK AND FOR ANY NEW CONSTRUCTION REQUIRING INSPECTION.
- ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION AND SHALL BE PROTECTED PER IDOT STANDARDS. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM DAMAGE INCLUDING TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.
- CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT ACCUMULATION OF MUD OR SOIL ON PUBLIC THOROUGHFARES. AT THE END OF EACH DAY AND AS OFTEN AS OTHERWISE NECESSARY THE CONTRACTOR SHALL CLEAN UP ALL MUD OR SOIL WHICH HAS BEEN TRACKED ONTO PUBLIC STREETS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL PROVIDE FOR THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS WHERE HIS/HER OPERATIONS ABLT

- PUBLIC THOROUGHFARES AND ADJACENT PROPERTY IN ACCORDANCE WITH THE VILLAGE OF TINLEY PARK MUNICIPAL CODE AND IDOT REQUIREMENTS.
- NO HOLES ARE TO BE LEFT OPEN IN THE PAVEMENT OR PARKWAY OVER A HOLIDAY, WEEKEND OR AFTER 3:00 P.M. ON THE DAY PRECEDING A HOLIDAY OR A WEEKEND.
- ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
- REMOVED PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AS PART OF THE BASE CONTRACT.
- NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.
- FOR REGULATED UTILITY LOCATIONS, THE CONTRACTOR SHALL CONTACT THE JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS, "J.U.L.I.E." AT 1-800-892-0123. LOCAL GOVERNMENT AGENCIES SHOULD BE CONTACTED BY THE CONTRACTOR FOR LOCATION OF ALL NONREGULATED UTILITY LOCATIONS. CALL FOR LOCATES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION.
- BEFORE EXCAVATING OVER OR ADJACENT TO ANY EXISTING UTILITIES, CONTRACTOR SHALL NOTIFY THE OWNER OF SUCH UTILITIES TO ENSURE THAT PROTECTIVE WORK WILL BE COORDINATED AND PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER OF THE UTILITY INVOLVED. IF ANY EXISTING SERVICE LINES, UTILITIES AND UTILITY STRUCTURES WHICH ARE TO REMAIN IN SERVICE ARE UNCOVERED OR ENCOUNTERED DURING THIS OPERATION, THEY SHALL BE SAFEGUARDED, PROTECTED FROM DAMAGE AND SUPPORTED IF NECESSARY.
- THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL.
- ALL CURB RADII REFER TO BACK OF CURB.
- ANY AREAS THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND SHALL BE INCIDENTAL TO THE CONTRACT.
- STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF DAMAGED, SHALL BE REPLACED PROMPTLY IN CONFORMANCE WITH THE MUNICIPALITY OR IDOT STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
- PROPOSED ELEVATIONS INDICATE FINISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF PROPOSED PAVING (ROADS, WALKS, DRIVES, ETC.) OR TOPSOIL AS INDICATED ON DRAWINGS.
- CAD FILES ARE AVAILABLE FOR CONSTRUCTION LAYOUT UPON REQUEST.
- BACKFILL SHALL BE PLACED NEXT TO THE CURB AS SOON AS PERMISSIBLE AFTER CONSTRUCTION TO PREVENT SCOURING AND UNDERCUTTING BY STORM WATER RUNOFF.
- BUTT JOINTS SHALL BE PROVIDED WHEREVER NEW PAVEMENT ABUTS EXISTING PAVEMENT. ALL BUTT JOINTS SHALL BE CONSTRUCTED BY MILLING AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE BITUMINOUS SURFACE COURSE.
- WHEN AN EXISTING DRAINAGE ROUTE, EITHER A STORM SEWER OR WATERWAY, IS INTERRUPTED DUE TO CONSTRUCTION, THE DRAINAGE ROUTE SHALL BE REESTABLISHED TO ORIGINAL CONDITIONS BY THE END OF THE SAME WORK DAY. POSITIVE DRAINAGE MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.
- FINAL ADJUSTMENT OF FIRE HYDRANTS, VALVE VAULTS AND MANHOLES TO FINISHED GRADE ARE INCIDENTAL TO THEIR COST.
- ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT ARE TO BE ADJUSTED OR RECONSTRUCTED BY THE CONTRACTOR TO THE UTILITY OWNER'S SATISFACTION. ADJUSTMENTS OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF THE UTILITY OWNER.
- PROVIDE TRENCH BACKFILL IN ACCORDANCE WITH THE DETAILS OF THE PLANS FOR ALL UTILITY LINES (OR AS OTHERWISE NOTED ON PLANS). BACKFILL SHALL BE PLACED AND COMPACTED PER THE MUNICIPALITY AND IDOT SPECIFICATIONS. COST OF BACKFILL IS TO BE CONSIDERED INCIDENTAL TO THE UTILITY WORK.
- ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- PRIOR TO DEMOBILIZATION, ALL WORK SHALL BE CLEANED AND INSPECTED TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION. THE COST OF THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES

- AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- BAND-SEAL CONNECTORS OR EQUIVALENT SHALL BE USED TO JOIN PIPES OF DISSIMILAR MATERIAL.
- CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL CONSTRUCTION IN CONFORMANCE WITH ALL MUNICIPAL AND CLIENT REQUIREMENTS FOR USE IN PREPARING RECORD DRAWINGS.
- THE SUBCONTRACTOR SHALL INSTALL A 2"x4"x6" POST ADJACENT TO THE TERMINUS OF UTILITY MAINS AND SERVICE LINES. POSTS SHALL BE MARKED IN ACCORDANCE WITH THE VILLAGE STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION. ANY DEWATERING REQUIRED SHALL BE INCIDENTAL TO THE CONTRACT.
- COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS REQUIRED IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.
- ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY AS DETERMINED BY THE ENGINEER. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE SUBCONTRACTOR AND SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE PROJECT. ALL FIELD TILE REPAIRS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
- THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS/HER WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.



DESCRIPTION	A	ARC LENGTH
RIGHT-OF-WAY LINE	B-B	BACK TO BACK OF CURB
PROPERTY LINE (EXTERIOR)	B/C	BACK OF CURB
LOT LINE (INTERIOR)	BLDG	BUILDING
EASEMENT LINE	BM	BENCHMARK
FENCE LINE	B/P	BOTTOM OF PIPE
CENTERLINE	BV/W	BUTTERFLY VALVE IN VALVE VAULT
PROPERTY CORNER	C & G	CURB AND GUTTER
CONTOUR	CB	CATCH BASIN
CURB & GUTTER	CL	CENTERLINE
DEPRESSED CURB & GUTTER	CL	CLOSED LID
REVERSE PITCHED CURB	CO	CLEAN OUT
SPOT ELEVATION	DIP	DUCTILE IRON PIPE
TOP OF CURB ELEVATION	DIA	DIAMETER
EDGE OF PAVEMENT ELEVATION	DIWM	DUCTILE IRON WATER MAIN
UTILITY STUB	DWG	DRAWING
SANITARY SEWER	E	EAST OR ELECTRIC OR EDGE
SANITARY FORCE MAIN	EJ	EXPANSION JOINT
STORM SEWER	ELEV	ELEVATION
WATER MAIN	E/P	EDGE OF PAVEMENT
GAS MAIN	EX	EXISTING
UNDERGROUND TELEPHONE & ELECTRIC DUCT BANK	F & CL	FRAME & CLOSED LID
BURIED CABLE-ELECTRIC	F & G	FRAME & GRATE
BURIED CABLE-TELEPHONE	F & OL	FRAME & OPEN LID
ATLAS LOCATED UTILITY	FES	FLARED END SECTION
UTILITY STRUCTURE WITH CLOSED LID	F-F	FACE TO FACE OF CURB
CURB INLET	FF	FINISHED FLOOR
DRAINAGE STRUCTURE WITH OPEN LID	F/G	FINISHED GRADE
FIRE HYDRANT	FH	FIRE HYDRANT
VALVE IN VALVE BOX	F/L	FLOW LINE
GATE VALVE IN VALVE VAULT	G	GAS LINE
POST INDICATOR VALVE	GV/VB	GATE VALVE IN VALVE BOX
THRUST BLOCK	GV/VV	GATE VALVE IN VALVE VAULT
TREE	HDCP	HANDICAP
TREE LINE	HDPE	HIGH DENSITY POLYETHYLENE PIPE
CONCRETE HEADWALL	HDW	HEADWALL
SUBMERGED HEADWALL	HOR	HORIZONTAL
FLARED END SECTION (F.E.S.)	HP	HIGH POINT
GUY WIRES	HWL	HIGH WATER LEVEL
FLOOD LIGHT	IE	INVERT ELEVATION
UTILITY POLE	IN	INLET
LIGHT STANDARD	LF	LINEAL FEET
TRAFFIC SIGNAL POLE	LP	LOW POINT OR LIGHT POLE
HAND HOLE	L	LEFT
SOIL BORING	ME	MATCH EXISTING
IRRIGATION HEADS	MH	MANHOLE
SIGN	MW	MONITORING WELL
TELEPHONE MANHOLE	N	NORTH
MONITORING WELL	NIC	NOT IN CONTRACT / NOT INCLUDED
TELEPHONE PEDESTAL	NWL	NORMAL WATER LEVEL
TRANSFORMER PAD	OC	ON CENTER
UTILITY TO BE ABANDONED	OL	OPEN LID
FEATURE TO BE REMOVED	PC	POINT OF CURVATURE
STORMWATER FLOW DIRECTION	PCC	PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVE
STORMWATER OVERFLOW ROUTE	PGL	PROFILE GRADE LINE
DITCH CHECK	PI	POINT OF INTERSECTION
INLET FILTER BASKET	PL	PROPERTY LINE
RIP RAP	PP	POWER POLE
BOLLARD	PRC	POINT OF REVERSE CURVATURE
SILT FENCE	PT	POINT OF TANGENCY
WATER MAIN PROTECTION	PUE	PUBLIC UTILITY EASEMENT
TRENCH BACKFILL	PVC	POINT OF VERTICAL CURVATURE OR POLYVINYL CHLORIDE PIPE
UTILITY CROSSING LABEL	PVI	POINT OF VERTICAL INTERSECTION
GUARDRAIL	PVT	POINT OF VERTICAL TANGENCY
RAILROAD TRACKS	R	RADIUS OR RIGHT
RETAINING WALL	RCP	REINFORCED CONCRETE PIPE
REVISION DELINEATION	ROW	RIGHT OF WAY
CONSTRUCTION LIMIT LINE	S	SLOPE OR SOUTH
TREE PROTECTION FENCE	SAN	SANITARY
	SF	SILTATION FENCE
	SFM	SANITARY FORCE MAIN
	SHT	SHEET
	SHW	SUBMERGED HEADWALL
	SMH	SANITARY MANHOLE
	STA	STATION
	ST	STORM STRUCTURE OR STORM SEWER
	STMH	STORM MANHOLE
	T	TANGENT LENGTH OR TELEPHONE
	T/C	TOP OF CURB
	T/P	TOP OF PIPE
	T/W	TOP OF WALL
	TY	TYPE
	TYP	TYPICAL
	UP	UTILITY POLE
	VC	VERTICAL CURVE
	VERT	VERTICAL
	VCP	VITRIFIED CLAY PIPE
	W	WEST
	WM	WATER MAIN

DRAWN BY BUD STOISSURE 07-29-16	REVIEWED BY MRV DATE ISSUED 07-29-16	TITLE GENERAL NOTES, LEGEND AND ABBREVIATIONS	DESCRIPTION MCDONALD'S - TINLEY PARK, ILLINOIS	SITE ADDRESS 012-0262 17171 HARLEM AVE., TINLEY PARK	DATE	DESCRIPTION
					REV	BY
<p>PREPARED FOR M. McDonald's USA, LLC</p> <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced in any form without the prior written consent of McDonald's USA, LLC. Use of these drawings and specifications for any other project is strictly prohibited. Reproduction of these drawings and specifications for any other project is strictly prohibited. The contract documents for reuse on another project is not authorized.</p>				<p>V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com</p>		
<p>SHEET NO. 012-0262</p> <p>C-1.0</p> <p>GENERAL NOTES, LEGEND AND ABBREVIATIONS</p>						

SPECIFICATIONS

EARTHWORK

1. THE GRADING OPERATIONS ARE TO BE INSPECTED BY A THIRD PARTY SOILS ENGINEER. THE CONTRACTOR'S REPRESENTATIVE MUST BE NOTIFIED PRIOR TO ANY UNSUITABLE SOIL REMOVAL AND MUST APPROVE, IN WRITING, ANY REMEDIATION. BOTH THE CONTRACTOR AND SOILS ENGINEER MUST BE PRESENT DURING REMEDIATION.
2. THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF 8 INCHES OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED, UNLESS OTHERWISE NOTED. AREAS IN DETENTION FACILITIES NOTED TO BE ESTABLISHED WITH NATIVE VEGETATION SHALL REQUIRE A MINIMUM OF 12 INCHES OF TOPSOIL. REFER TO PLANTING PLANS TO VERIFY TOPSOIL THICKNESS REQUIREMENTS.
3. THE SURFACE VEGETATION, TOPSOIL, TRANSITIONAL MATERIAL, AND ANY OBVIOUSLY SOFT UNDERLYING SOIL SHALL BE STRIPPED FROM ALL AREAS TO RECEIVE STRUCTURAL FILL. IF THE UNDERLYING SUBGRADE IS FOUND TO BE UNSUITABLE FOR PROPER COMPACTION, CONTRACTOR TO CONSULT WITH SOILS ENGINEER PRIOR TO REMEDIATION.
4. EMBANKMENT MATERIAL WITHIN ROADWAY, DRIVEWAY, BUILDING AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER, THE AUTHORITY HAVING JURISDICTION, AND THE CONTRACTOR.
5. ALL PAVEMENT SUBGRADE SHALL MEET THE REQUIREMENTS DETERMINED BY THE SOILS ENGINEER AND DOCUMENTED IN THE GEOTECHNICAL REPORT. IF AREAS OF PAVEMENT SUBGRADE ARE ENCOUNTERED WHICH DO NOT MEET THESE REQUIREMENTS, SUBGRADE REPLACEMENT OR PAVEMENT DESIGN REVISIONS SHALL BE PROVIDED WHICH ARE ADEQUATE TO OBTAIN EQUIVALENT PAVEMENT STRENGTH AS DETERMINED BY THE ENGINEER, SOILS ENGINEER, AND THE AUTHORITY HAVING JURISDICTION.
6. COMPLETED GRADING (FINISHED FINE GRADE) FOR PROPOSED PAVEMENT SUBGRADE AREAS, BUILDING PADS, AND OPEN SPACE AREAS SHALL BE WITHIN A 0.1' TOLERANCE OF DESIGN SUBGRADE.
7. THE SUBGRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE SUBCONTRACTOR IN THE PRESENCE OF THE JURISDICTIONAL INSPECTOR, CONTRACTOR, AND SOILS ENGINEER.
8. BORROW PIT LOCATION(S) SHALL BE APPROVED BY THE OWNER, ENGINEER, AND GEOTECHNICAL ENGINEER.

PAVING

1. BASE COURSE SHALL BE AGGREGATE BASE COURSE, CONFORMING TO IDOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).
2. SURFACE COURSE AND BINDER COURSE SHALL BE HOT-MIX ASPHALT (HMA) CONFORMING TO IDOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).
3. CURB & GUTTER AND SIDEWALK SHALL BE CLASS SI PORTLAND CEMENT CONCRETE CONFORMING TO IDOT STANDARD SPECIFICATIONS.
4. SUBGRADE SHALL BE FINISHED TO BE WITHIN 0.1 FEET OF DESIGN SUBGRADE ELEVATIONS BY THE EARTHWORK CONTRACTOR. FINE GRADING FOR PAVEMENTS AND SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR.
5. AGGREGATE BASE COURSES SHALL BE PRIMED AT THE RATE OF 0.25 TO 0.50 GALLONS PER SQUARE YARD AND BRICK, CONCRETE, OR HMA BASES SHALL BE PRIMED AT THE RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD WITH LIQUID ASPHALT CONFORMING TO THE IDOT STANDARD SPECIFICATIONS AND APPROPRIATE FOR PREVAILING WEATHER AND SITE CONDITIONS. PRIME COAT AND CLEANING THE EXISTING SURFACE SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
6. PAVEMENT SHALL BE CONSTRUCTED ON A THOROUGHLY COMPACTED SUBGRADE MEETING THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL CONSULTANT. PRIOR TO PLACEMENT OF THE NEW PAVEMENT, THE SUBGRADE SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK (MINIMUM 20 TONS). PROOF ROLLING SHALL BE WITNESSED BY THE GEOTECHNICAL CONSULTANT.
7. SIDEWALKS SHALL BE OF THE THICKNESS AND

DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. CONTRACTION JOINTS SHALL BE SET AT 5' CENTERS AND ½ INCH PREMOLDED FIBER EXPANSION JOINTS SHALL BE SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS THE CURB, A BUILDING, OR AT THE END OF EACH POUR. ALL SIDEWALKS CONSIDERED TO BE ACCESSIBLE ROUTES AS DEFINED BY THE AMERICANS WITH DISABILITIES ACT (ADA) SHALL BE SUBJECT TO ILLINOIS ACCESSIBILITY CODE (IAC) REQUIREMENTS, UNLESS OTHERWISE NOTED.

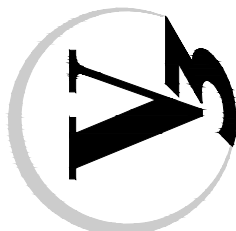
8. TESTING OF THE SUBBASE, BASE COURSE, BINDER COURSE, SURFACE COURSE, AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. A QUALIFIED TESTING FIRM SHALL BE EMPLOYED TO PERFORM THE REQUIRED TESTS.
9. ASPHALT JOINTS FOR BINDER AND SURFACE COURSES ARE TO BE STAGGERED.

STORM SEWER

1. STORM SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:
 - A. POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC) CONFORMING TO ASTM D3034 WITH ELASTOMERIC GASKETED JOINTS CONFORMING TO ASTM D3212.
 - B. HIGH DENSITY POLYETHYLENE PIPE, HDPE, CONFORMING TO ASTM D3350 WITH ELASTOMERIC JOINTS CONFORMING TO ASTM D3212.
2. STORM SEWER STRUCTURES SHALL BE PRECAST OF THE TYPE AND DIAMETER AS SPECIFIED IN THE PLANS WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL). LIDS SHALL BE IMPRINTED "STORM".

REV	DATE	DESCRIPTION	BY

PREPARED BY:



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7325 James Avenue
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www.v3co.com

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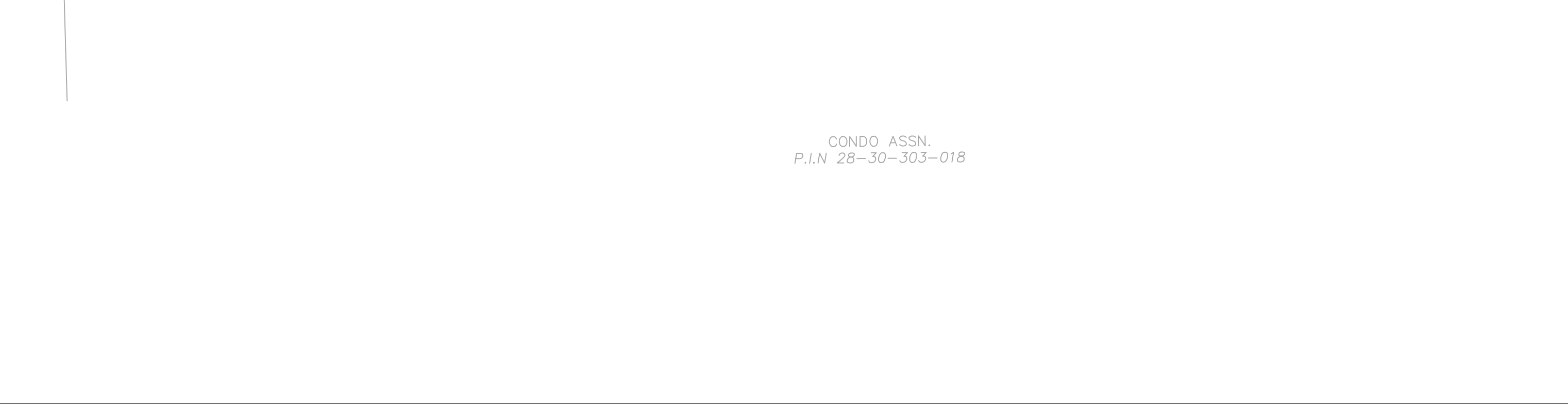
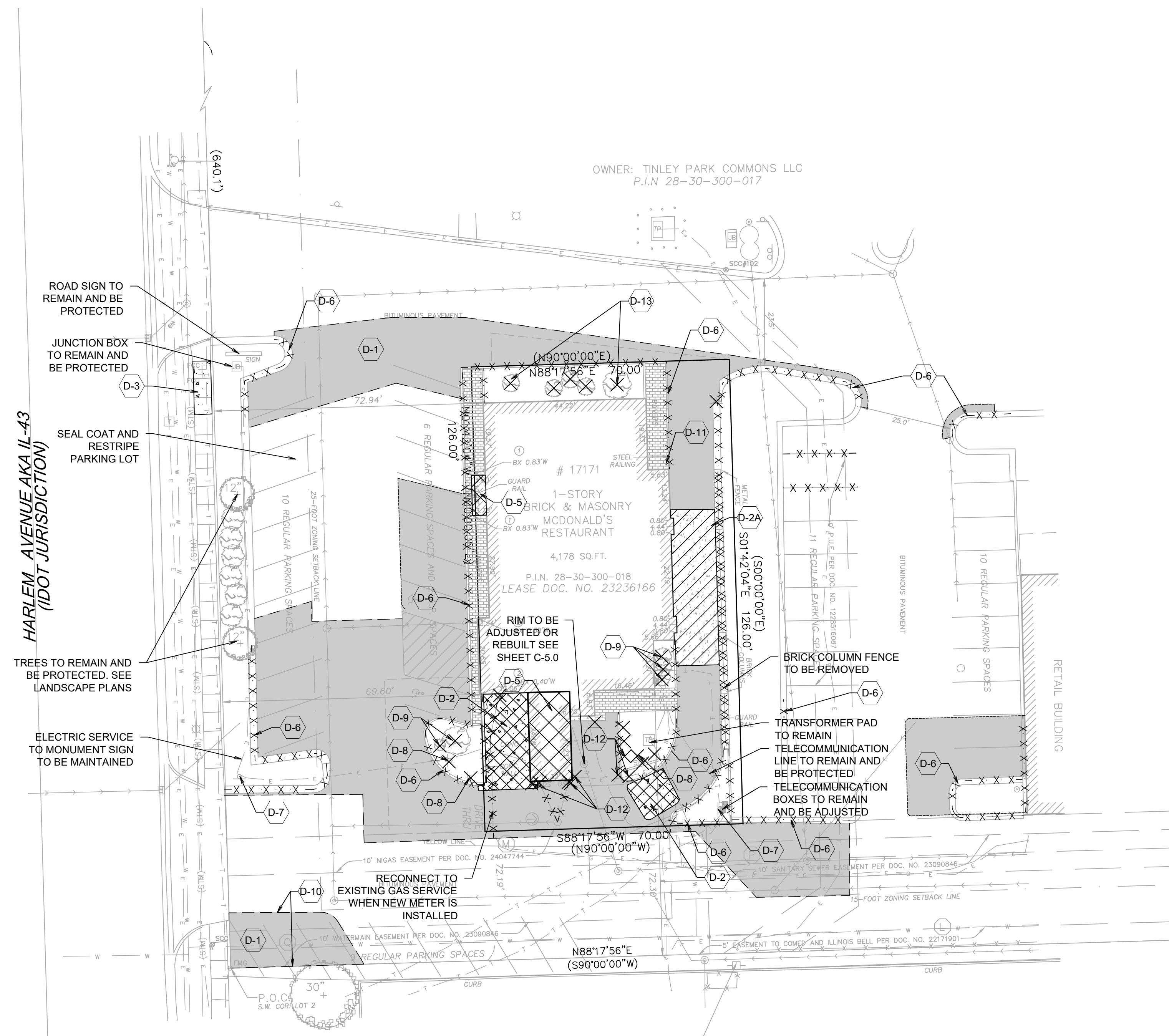
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McDonald's USA, LLC

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DRAWN BY B/D	ST/ISSUE/DATE 07-29-16	TITLE SPECIFICATIONS
	REVIEWED BY MRV	
DATE ISSUED 07-29-16	DESCRIPTION MCDONALDS - TINLEY PARK, ILLINOIS	SHEET NO. C-1.1 SPECIFICATIONS
SITE ADDRESS 012-0262 17171 HARLEM AVE., TINLEY PARK	SITE ID 012-0262	



DEMOLITION PLAN

- THE EXTENT OF DEMOLITION WORK IS AS GENERALLY SHOWN ON THE CONSTRUCTION DOCUMENTS. SPECIFIC DEMOLITION PROCESSES OR PROCEDURES FOR DEMOLITION AND STRUCTURAL CONSIDERATIONS ARE THE RESPONSIBILITY OF OTHERS. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:
 - SIDEWALK AND ON-SITE PAVEMENT
 - BUILDINGS, FOUNDATIONS, AND SUPPORTING WALLS AND SLABS
 - UTILITIES
 - CONSTRUCTION DEBRIS
- ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.
- CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE STRUCTURAL FILL.
- STRUCTURES TO BE DEMOLISHED SHALL BE VACATED AND DISCONTINUED FROM USE PRIOR TO START OF WORK. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE, HOWEVER, VARIATIONS WITHIN THE STRUCTURES MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK.
- ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
- CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF BUILDINGS, PAVEMENTS AND UTILITIES TO REMAIN FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.
- EXISTING UTILITIES, WHICH DO NOT SOLELY SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS.
- EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO HAVE THEIR TRENCHES BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY.
- CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO MINIMIZE DUST AND DIRT FROM RISING AND SCATTERING IN THE AIR. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE IDOT APPROVED AGGREGATE (CA-6) OR APPROVED EQUAL.
- SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION, AND REMOVAL.
- EXISTING MONITORING WELLS ARE TO BE REMOVED AS NECESSARY AND SEALED BY STATE LICENSED WELL DRILLER PER ILLINOIS DEPARTMENT OF PUBLIC HEALTH REQUIREMENTS AND/OR LOCAL/COUNTY REQUIREMENTS.
- THESE DRAWINGS DO NOT INCLUDE THE REMOVAL OF UNDERGROUND STORAGE TANKS. SHOULD UNDERGROUND STORAGE TANKS BE ENCOUNTERED, CONTRACTOR TO CONTACT OWNER AND ENGINEER TO DETERMINE RESPONSIBILITY FOR ANY ENVIRONMENTAL REMEDIATION OR REMOVAL WORK AS NECESSARY. ANY REMOVAL OF UNDERGROUND STORAGE TANKS MUST BE IN CONFORMANCE WITH LOCAL AND STATE STANDARDS.

REV	DATE	DESCRIPTION
2	5-21-17	VILLAGE COMMENTS

PREPARED BY:
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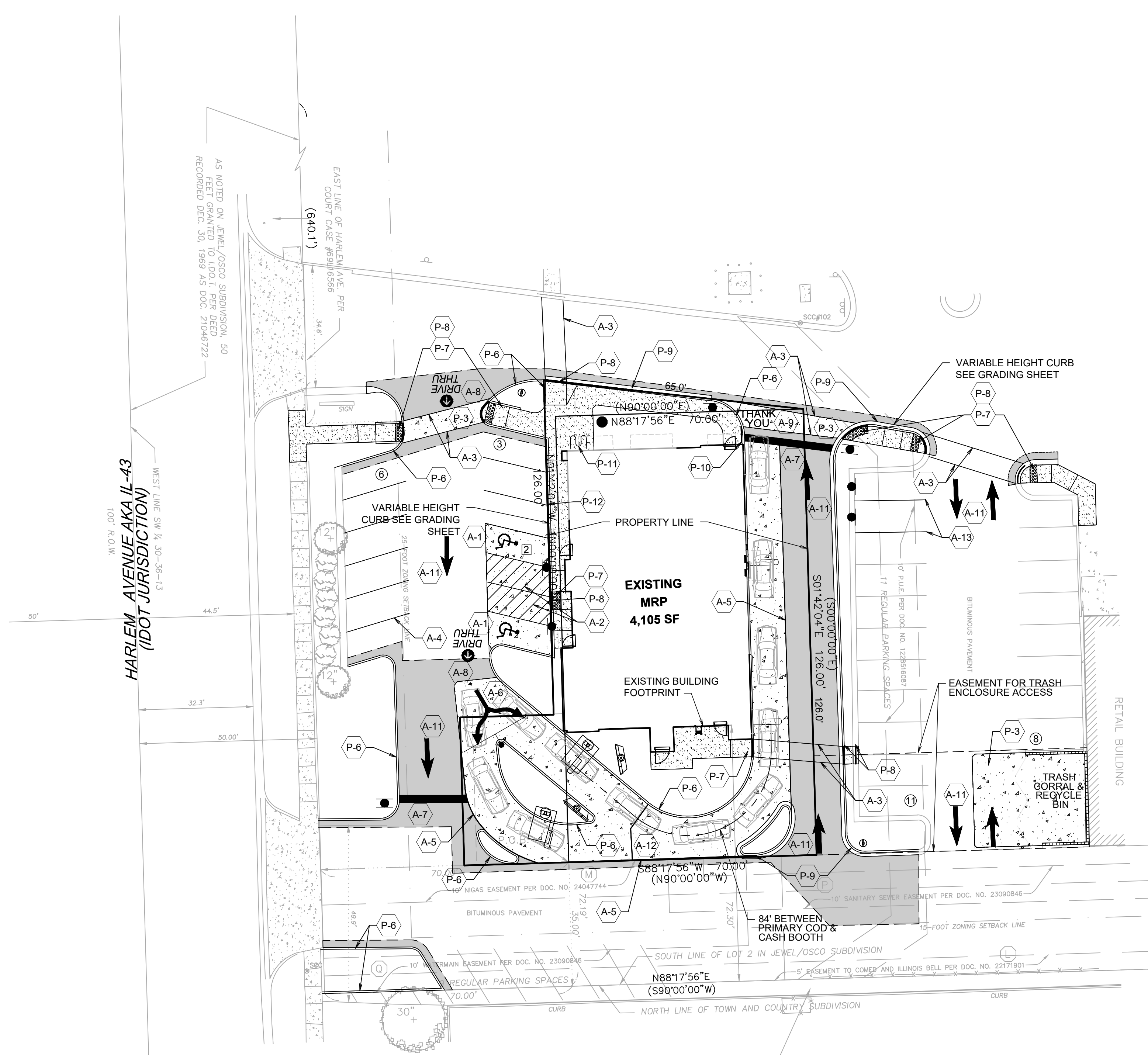
VISION: Virtute... The Vision to Transform with Excellence

PREPARED FOR:
McDonald's USA, LLC
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DRAWN BY: KLS
 STD ISSUE DATE: 07-29-16
 REVIEWED BY: AMU
 DATE ISSUED: 07-29-16

TITLE: DEMOLITION PLAN
 DESCRIPTION: MCDONALD'S - TIMLEY PARK, ILLINOIS
 SITE ADDRESS: 012-0262 17171 HARLEM AVE., TINLEY PARK

SHEET NO. 012-0262
C-2.0
 DEMOLITION PLAN



PAVING LEGEND

STANDARD DUTY BITUMINOUS PAVEMENT	
	1.5" HMA BITUMINOUS SURFACE COURSE, MIX "C", N50 2.5" HMA BITUMINOUS BINDER COURSE, IL 19, N50 8" AGGREGATE BASE COURSE - TYPE B, CA6 8 OZ WOVEN GEOTEXTILE FABRIC
HEAVY DUTY BITUMINOUS PAVEMENT	
	1.5" HMA BITUMINOUS SURFACE COURSE, MIX "C", N50 3" HMA BITUMINOUS BINDER COURSE, IL 19, N50 10" AGGREGATE BASE COURSE - TYPE B, CA6 8 OZ WOVEN GEOTEXTILE FABRIC
CONCRETE PAVEMENT FOR TRASH CORRAL & PADS	
	8" P.C. CONCRETE PAVEMENT WITH (6X6) NO. 10 W.W.F. 4" AGGREGATE BASE COURSE - CA6 8 OZ WOVEN GEOTEXTILE FABRIC
CONCRETE PAVEMENT FOR DRIVE-THRU LANES	
	6" P.C. CONCRETE PAVEMENT WITH (6X6) NO. 10 W.W.F. 4" AGGREGATE BASE COURSE - CA6 8 OZ WOVEN GEOTEXTILE FABRIC
CONCRETE SIDEWALK	
	5" P.C. CONCRETE PAVEMENT 4" AGGREGATE BASE COURSE - CA6

STRIPING LEGEND

	8" CONCRETE BARRIER CURB		ADA ACCESSIBLE STALL WITH WHITE SYMBOL PER ADA REQUIREMENTS
	ADA DETECTABLE STRIP		HANDICAP ACCESSIBLE AISLE - 4" WHITE STRIPES @ 45°, 3' O.C.
	DEPRESSED CURB		6" WIDE PEDESTRIAN ACCESS AISLE WITH 4" WHITE STRIPES
	B6.18 CURB & GUTTER		4" WIDE PARKING STRIPE OR STRIPED AREA - 4" WHITE STRIPES @ 45°, 2' O.C.
	HANDRAIL		6" YELLOW DRIVE-THRU STRIPE
	BIKE RACK		DOUBLE HEADED ARROW
	TURN DOWN CURB		24" WHITE STOP BAR
			"DRIVE-THRU" W/ARROW PAVEMENT MARKING PAINTED YELLOW
			"THANK YOU" PAVEMENT MARKING WITH DOUBLE YELLOW STOP LINE
			PARKING LOT ARROWS
			INGRESS / EGRESS ARROWS
			MERGE STRIPE
			8" YELLOW PAINTED STRIPE

SITE DATA

STREET LOCATION: 17171 HARLEM AVENUE, TINLEY PARK, IL 60477
 CURRENT SITE AREA: 10,202 SF (0.23 AC.)
 CURRENT ZONING: C-2 GENERAL COMMERCIAL DISTRICT
 BUILDING TYPE: 4587+BASEMENT (5,165 GROSS SQ.FT.)

ZONING REQUIREMENTS	REQUIRED	PROVIDED
LANDSCAPE SETBACKS		
FRONT	N/A	22.2'
LEFT SIDE	N/A	54'
RIGHT SIDE	N/A	3.5'
REAR	N/A	39.6"
INTERIOR LANDSCAPE	N/A	N/A
BUILDING SETBACKS		
NORTH	0'	8.9'
SOUTH	25'	30.9'
EAST	0'	11'
WEST	0'	12.7'
PARKING STALL SIZE	9'x20'	9'x18'
DRIVE AISLE WIDTH		
ONE WAY (60° PARKING)	N/A	16'
TWO WAY (90° PARKING)	N/A	N/A
PARKING		
1 STALL PER 75 SF OF DINING ROOM AREA PLUS 1 STALL FOR EACH EMPLOYEES - 16	39	29 STANDARD 2 HANDICAPPED 31 TOTAL

McDonald's USA, LLC

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PREPARED BY: [Signature]

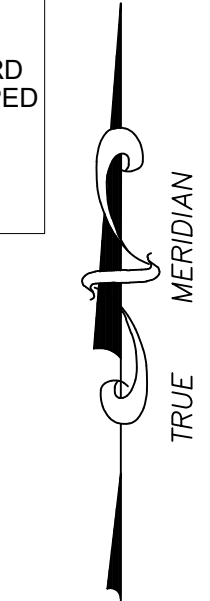
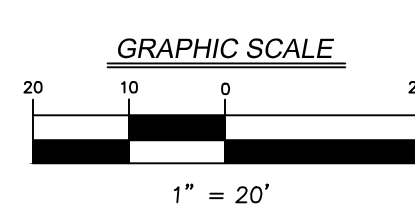
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STD ISSUE DATE: 07-29-16
REVIEWED BY: AMU
DATE ISSUED: 07-29-16

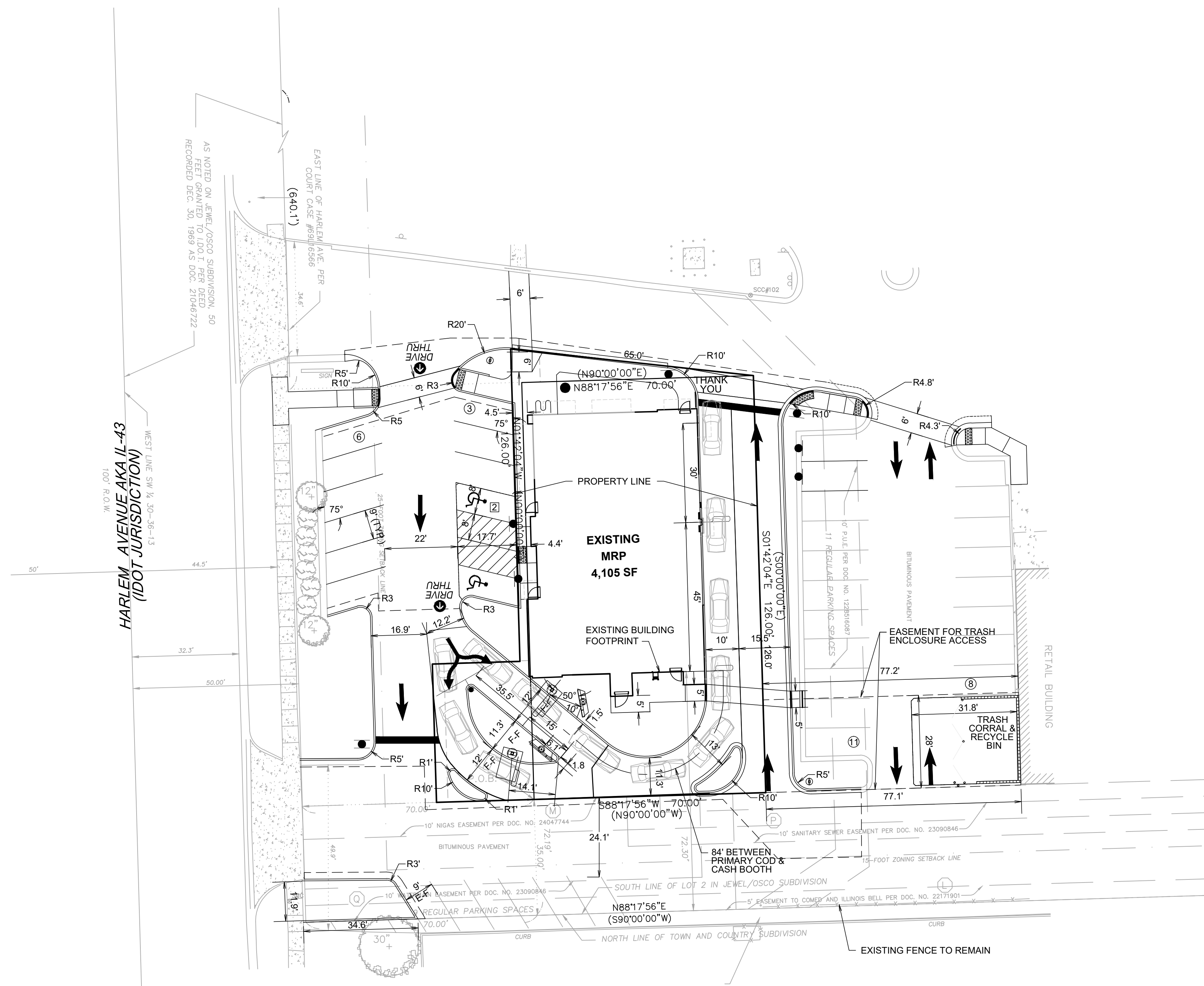
TITLE: SITE PLAN
DESCRIPTION: MCDONALD'S - TINLEY PARK, ILLINOIS
SITE ADDRESS: 17171 HARLEM AVE., TINLEY PARK

SHEET NO. 012-0262
C-3.0
SITE PLAN

DATE: 03-21-17
REV: 2

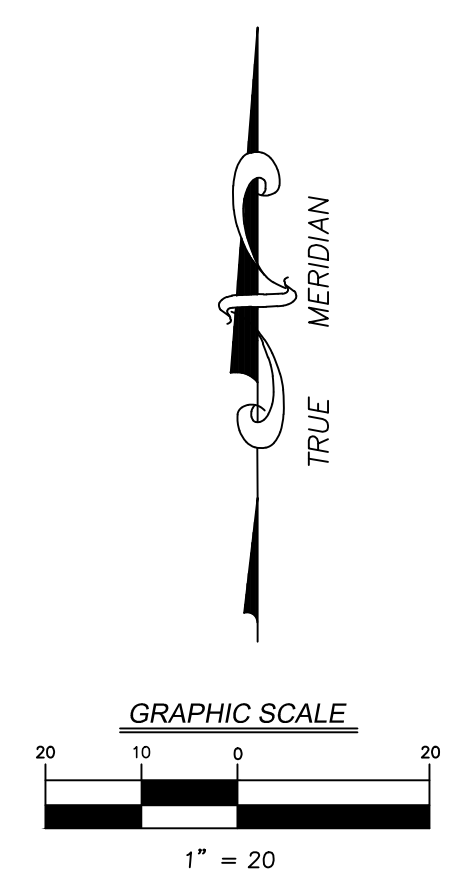
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AMU: [Blank]
BY: [Blank]





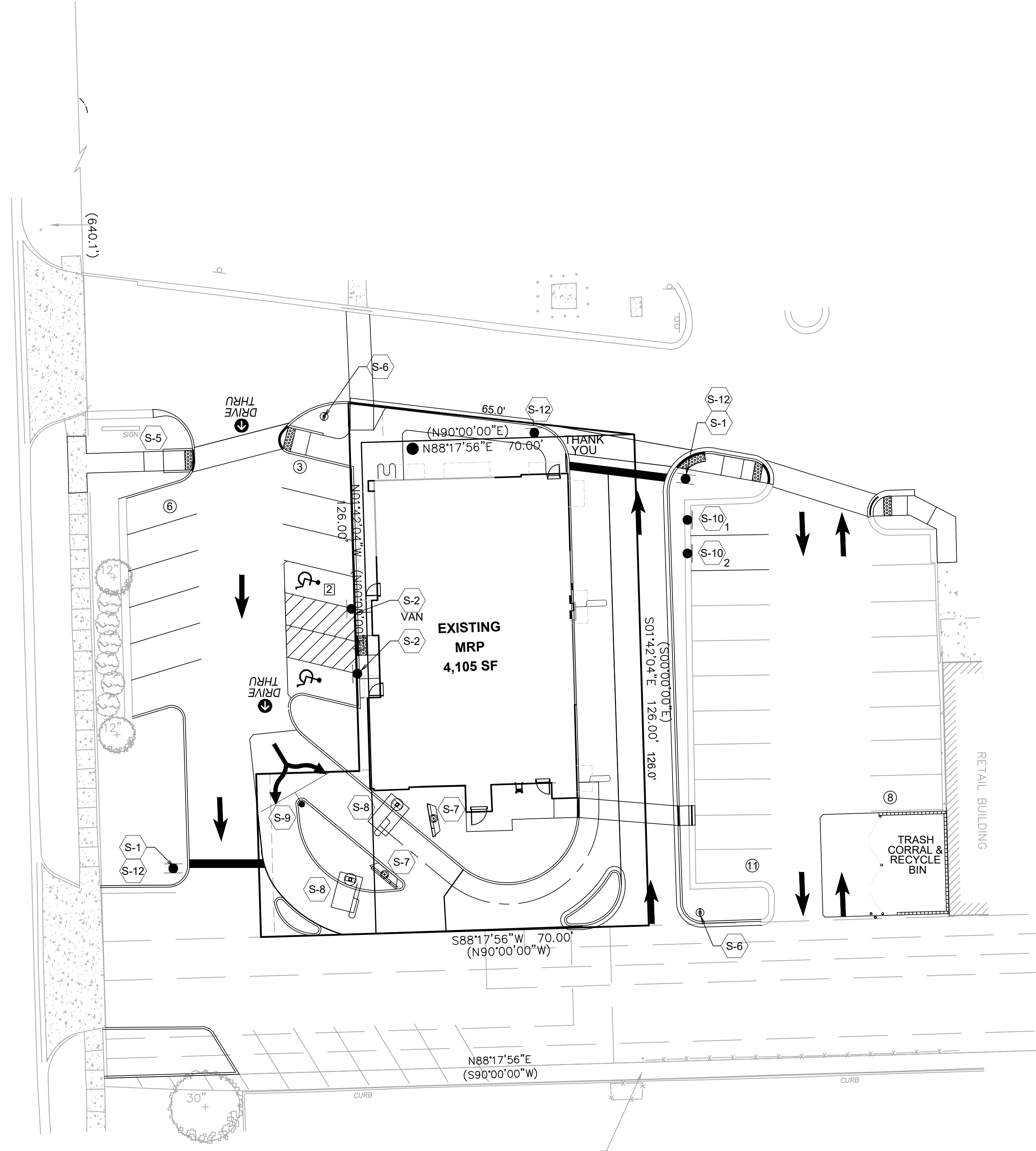
SITE DATA		
STREET LOCATION: 17171 HARLEM AVENUE.		
TINLEY PARK, IL 60477		
CURRENT SITE AREA: 10,678 SF (0.25 AC.)		
CURRENT ZONING: C-2 GENERAL COMMERCIAL DISTRICT		
BUILDING TYPE: EXISTING (4,105 SQ.FT.)		
	REQUIRED	PROVIDED
PARKING STALL SIZE	9'x20'	9'x18'
DRIVE AISLE WIDTH		
ONE WAY (60° PARKING)	18'	18',24'
TWO WAY (90° PARKING)	24'	24'
PARKING		
1 STALL PER 75 SF OF DINING ROOM AREA PLUS 1 STALL FOR EACH EMPLOYEES	39	29 STANDARD 2 HANDICAPPED 31 TOTAL

- NOTES:
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.
 3. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.

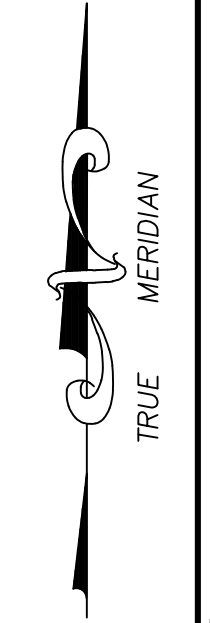
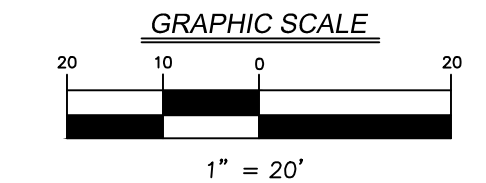


DRAWN BY KLS	STD ISSUE DATE 01-26-16	REVIEWED BY AMU	DATE ISSUED 01-26-16	TITLE LAYOUT PLAN
				DESCRIPTION MCDONALD'S - TINLEY PARK MAP
SHEET NO. C-3.1				012-0262
SITE ADDRESS 012-0262 17171 HARLEM AVENUE				06240.51 - LAYOUT PLAN
PREPARED FOR M. McDonald's USA, LLC <small>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.</small>				PREPARED BY: V3 Companies 7325 James Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com
AS NOTED BY ENR/JOSCO SUBDIVISION, 50 FEET GRANTED TO LOT 1 PER DEED RECORDED DEC. 30, 1989 AS DOC. 21046722				REV 1 2-2-16 DATE BY

HARLEM AVENUE AKA IL-43
(IDOT JURISDICTION)

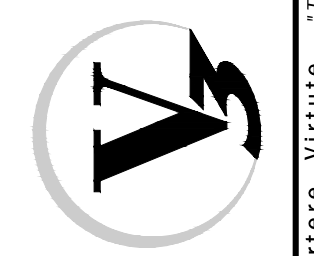


	S-1 STOP SIGN MUTCD R1-1
	S-2 ACCESSIBLE PARKING STALL
	S-2 ACCESSIBLE PARKING STALL VAN
	S-3 EXISTING McDONALD'S DIRECTIONAL SIGN TO REMAIN
	S-4 EXISTING McDONALD'S DIRECTIONAL SIGN TO BE REMAIN
	S-5 EXISTING McDONALD'S MONUMENT SIGN TO REMAIN
	S-6 PROPOSED McDONALD'S DIRECTIONAL SIGN WITH LOGO
	S-7 McDONALD'S MENU BOARD
	S-8 CUSTOMER ORDERING DEVICE (C.O.D.)
	S-9 McDONALD'S DOUBLE WELCOME POINT GATEWAY WITH ANY LANE, ANY TIME SIGN
	S-10# PULL FORWARD SIGN
	S-11 ANY LANE, ANY TIME SIGN ON A BOLLARD
	S-12 DO NOT ENTER SIGN

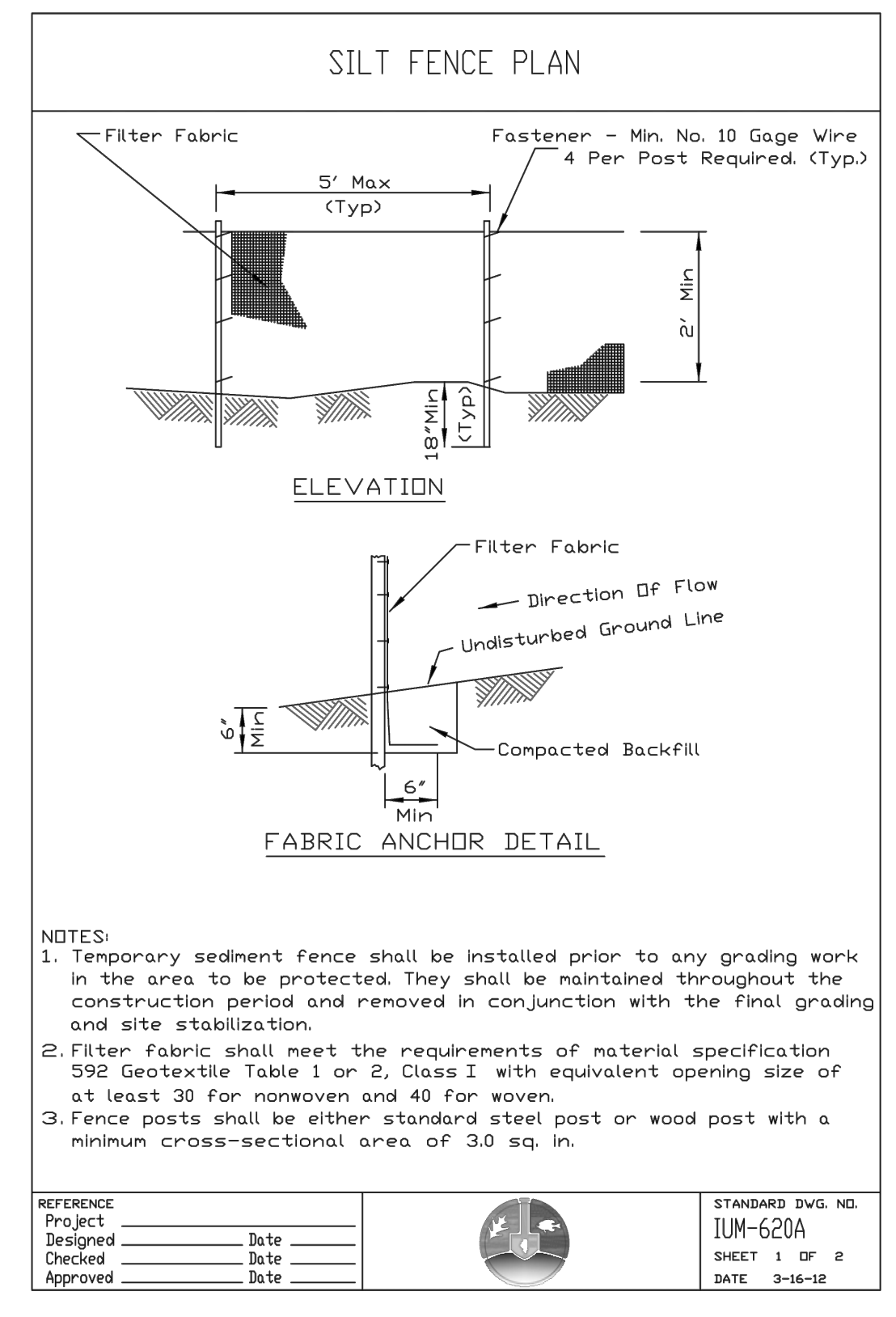
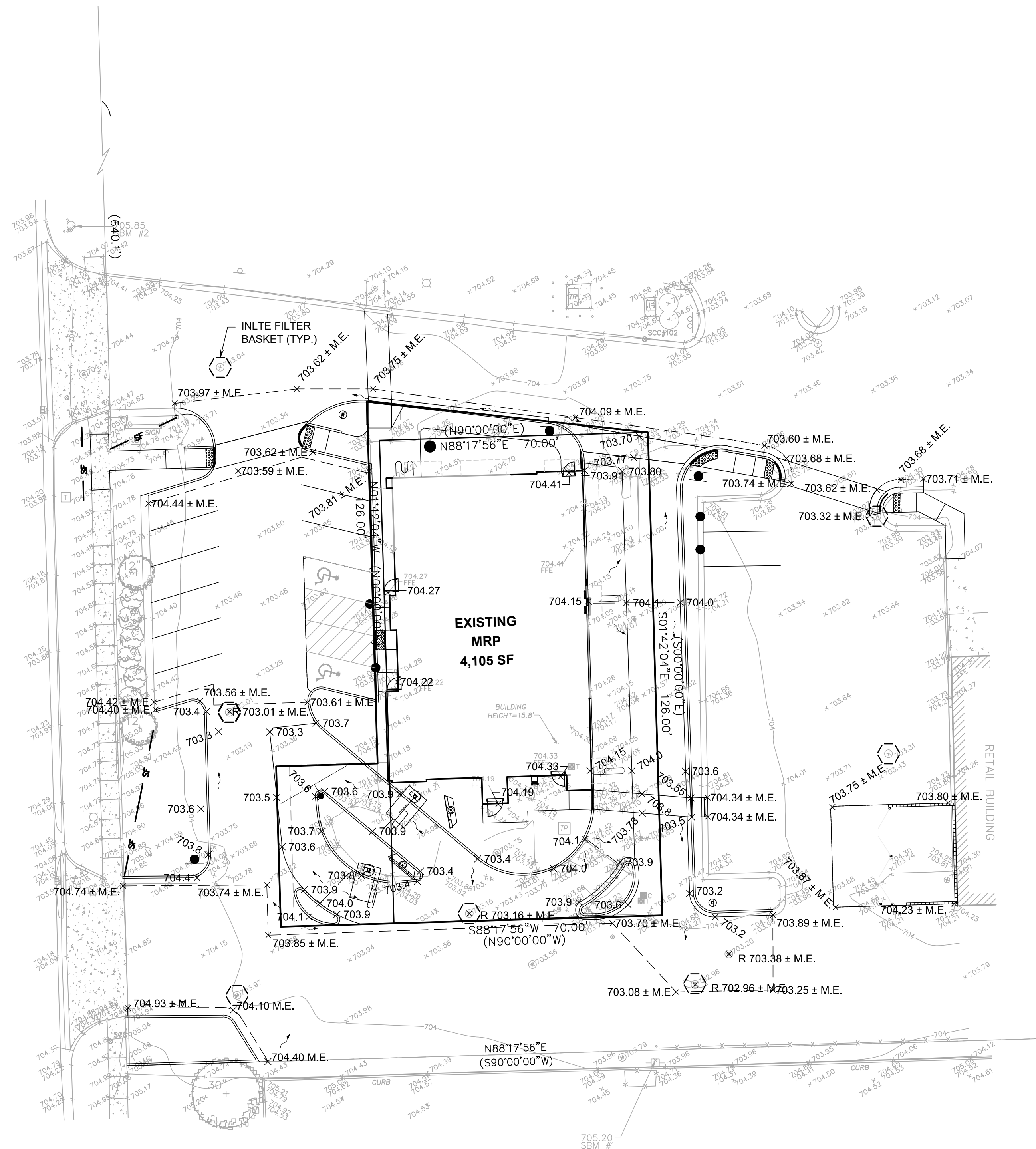


DRAWN BY KLS		DATE 07-29-16	
REVIEWED BY AMU		DATE ISSUED 07-29-16	
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TITLE SIGNAGE PLAN		DESCRIPTION MCDONALD'S - TIMLEY PARK, ILLINOIS	
SHEET NO. C-3.2		SIGNAGE PLAN	
SITE ADDRESS 012-0262 17171 HARLEM AVE., TIMLEY PARK		DATE	REV
BY		DATE	REV
DESCRIPTION		DATE	REV

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HARLEM AVENUE AKA IL-43
(IDOT JURISDICTION)



NOTES:

1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 40 for woven.
3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE:

Project	Date	STANDARD DWG. NO.
Designed	Date	IUM-620A
Checked	Date	SHEET 1 OF 2
Approved	Date	DATE 3-16-12

NOTES:

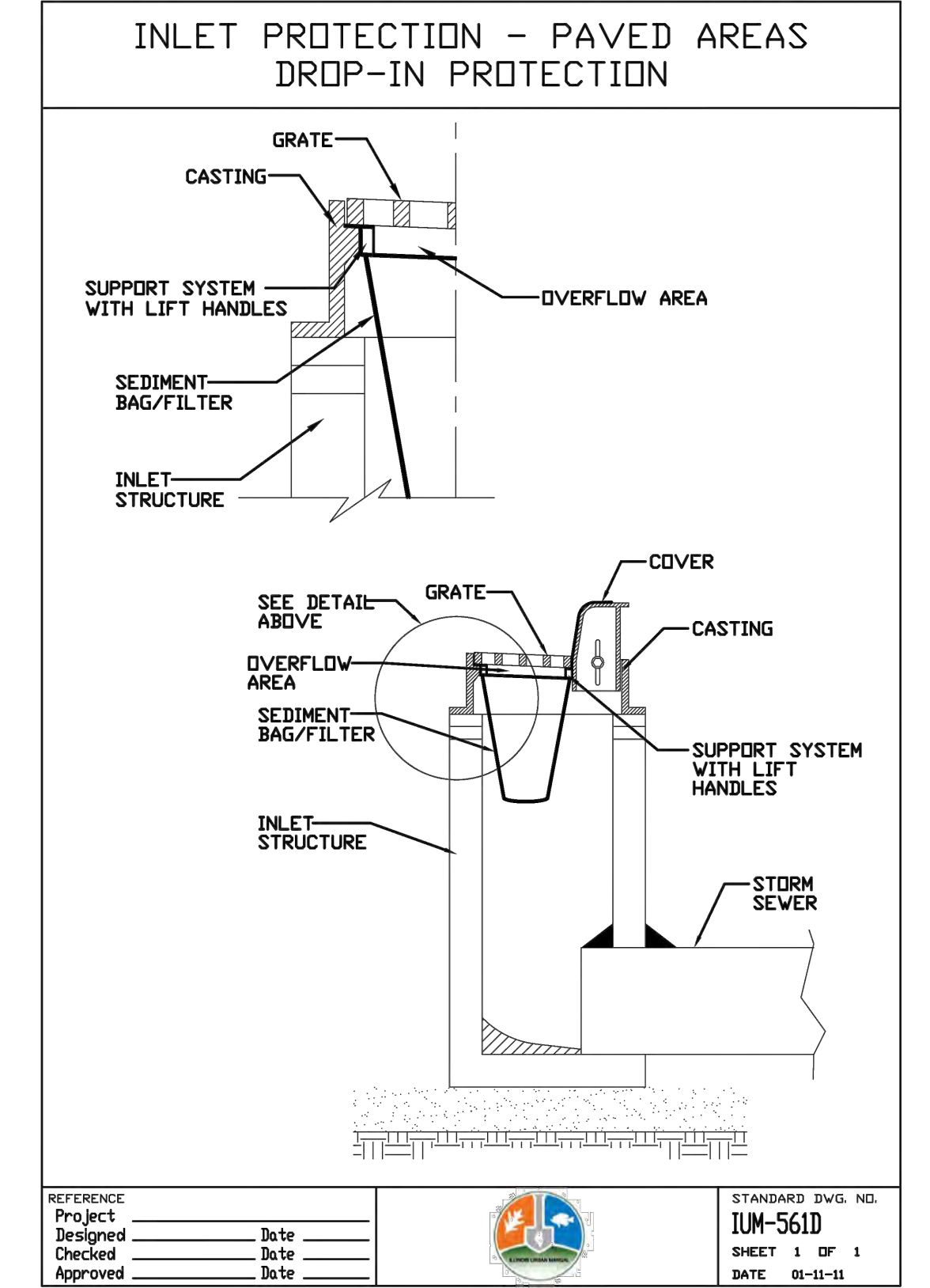
1. THE GEOTEXTILE FABRIC SHALL BE PLACED IN THE EXCAVATED TRENCH, BACKFILLED, AND COMPACTED TO THE EXISTING GROUND SURFACE.
2. WOODEN SUPPORT POSTS SHALL BE A MINIMUM DIMENSION OF 1-1/8" x 1-1/8" x 1-1/8" AIR OR KILN DRIED HICKORY OR OAK AND 4 FEET LONG. STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAL FOOT AND 5 FEET LONG. POST SPACING SHALL BE A MAXIMUM OF 8 FEET FOR WOVEN FABRIC AND 3 FEET FOR NON-WOVEN FABRIC.
3. THE GEOTEXTILE FABRIC SHALL BE ATTACHED DIRECTLY TO THE UPSLOPE SIDE OF WOODEN POSTS WITH 0.5 INCH STAPLES IN AT LEAST 3 PLACES, OR WITH WOODEN LATH AND NAILS. ATTACHMENT TO STEEL POSTS WILL BE BY WIRE FASTENERS OR 50 POUND PLASTIC TIE STRAPS ON THE UPSLOPE SIDE.
4. THE GEOTEXTILE FABRIC SHALL CONSIST OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYLIDENE CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF. ALL FABRIC SHALL MEET THE FOLLOWING REQUIREMENTS:

TEST REQUIREMENT	METHOD	VALUE ±
MINIMUM GRAB TENSILE STRENGTH IN THE MACHINE DIRECTION	ASTM D 4532	120 LBS.
MINIMUM GRAB TENSILE STRENGTH IN THE CROSS MACHINE DIRECTION	ASTM D 4532	100 LBS.
MAXIMUM APPARENT OPENING SIZE EQUIVALENT STANDARD SIEVE	ASTM D 4751	NO. 30
MINIMUM PERMITTIVITY	ASTM D 4491	0.05 SEC ⁻¹
MAXIMUM PERMITTIVITY	ASTM D 4491	0.135 SEC ⁻¹ OR 10 gpm/sq. ft. at 50 mm constant head.
MINIMUM ULTRAVIOLET STABILITY PERCENTAGE OF STRENGTH RETAINED AFTER 500 HOURS OF EXPOSURE	ASTM D 4355	70%

* ALL NUMERICAL VALUES REPRESENT MINIMUM/MAXIMUM AVERAGE ROLL VALUES. (FOR EXAMPLE, THE AVERAGE OF MINIMUM TEST RESULTS ON ANY ROLL IN A LOT SHOULD MEET OR EXCEED THE MINIMUM SPECIFIED VALUES).

BILL OF MATERIALS

ITEM	QUANTITY
SUPPORT POSTS	_____
GEOTEXTILE	_____ FT.
FASTENERS	AS REQUIRED



GRADING NOTES:

1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
3. PROVIDE 1.50% CROSS SLOPE AND 4.00% MAXIMUM LONGITUDINAL SLOPE ON ALL SIDEWALKS AND PEDESTRIAN PATHS UNLESS OTHERWISE INDICATED. PLEASE NOTE THAT THE ILLINOIS ACCESSIBILITY CODE REQUIRES A MAXIMUM CONSTRUCTED CROSS SLOPE OF 2.00% AND LONGITUDINAL SLOPE OF 5.00%.

EROSION CONTROL NOTES:

1. CONTRACTOR TO INSTALL CONSTRUCTION ENTRANCE PRIOR TO COMMENCEMENT OF WORK.
2. CONTRACTOR TO INSTALL SILT FENCE PRIOR TO COMMENCEMENT OF ANY EARTHWORK. CONTRACTOR TO MAINTAIN SILT FENCE AS SHOWN AND INSTALL ADDITIONAL SILT FENCE WHEREVER NECESSARY THROUGHOUT CONSTRUCTION ACTIVITIES TO MINIMIZE SOIL EROSION.
3. CONTRACTOR TO INSTALL INLET PROTECTION ON ALL OPEN LID STRUCTURES. SEE INLET PROTECTION DETAIL ON THIS SHEET.
4. ALL SEDIMENT AND EROSION CONTROL MEASURES IN AND AROUND THE PROPOSED IMPROVEMENTS ARE TO REMAIN IN PLACE AND TO BE MAINTAINED THROUGHOUT CONSTRUCTION ACTIVITIES UNTIL THE PROPOSED IMPROVEMENTS ARE COMPLETED AND THE SITE ADEQUATELY STABILIZED.

PREPARED BY: V3 Companies
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Woodridge, IL 60517
630.724.9200 phone
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www.v3co.com

PREPARED FOR: McDonald's USA, LLC

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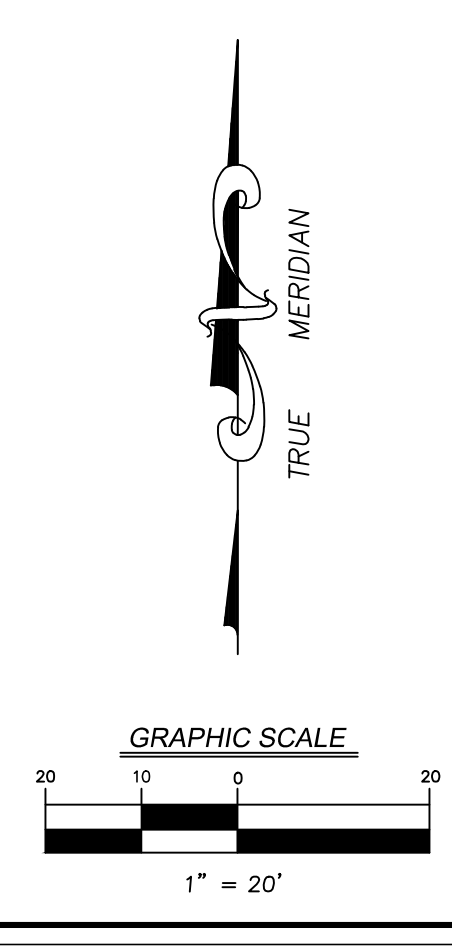
DRAWN BY: KLS
STD. ISSUE DATE: 07-29-16
REVIEWED BY: AMU
DATE ISSUED: 07-29-16

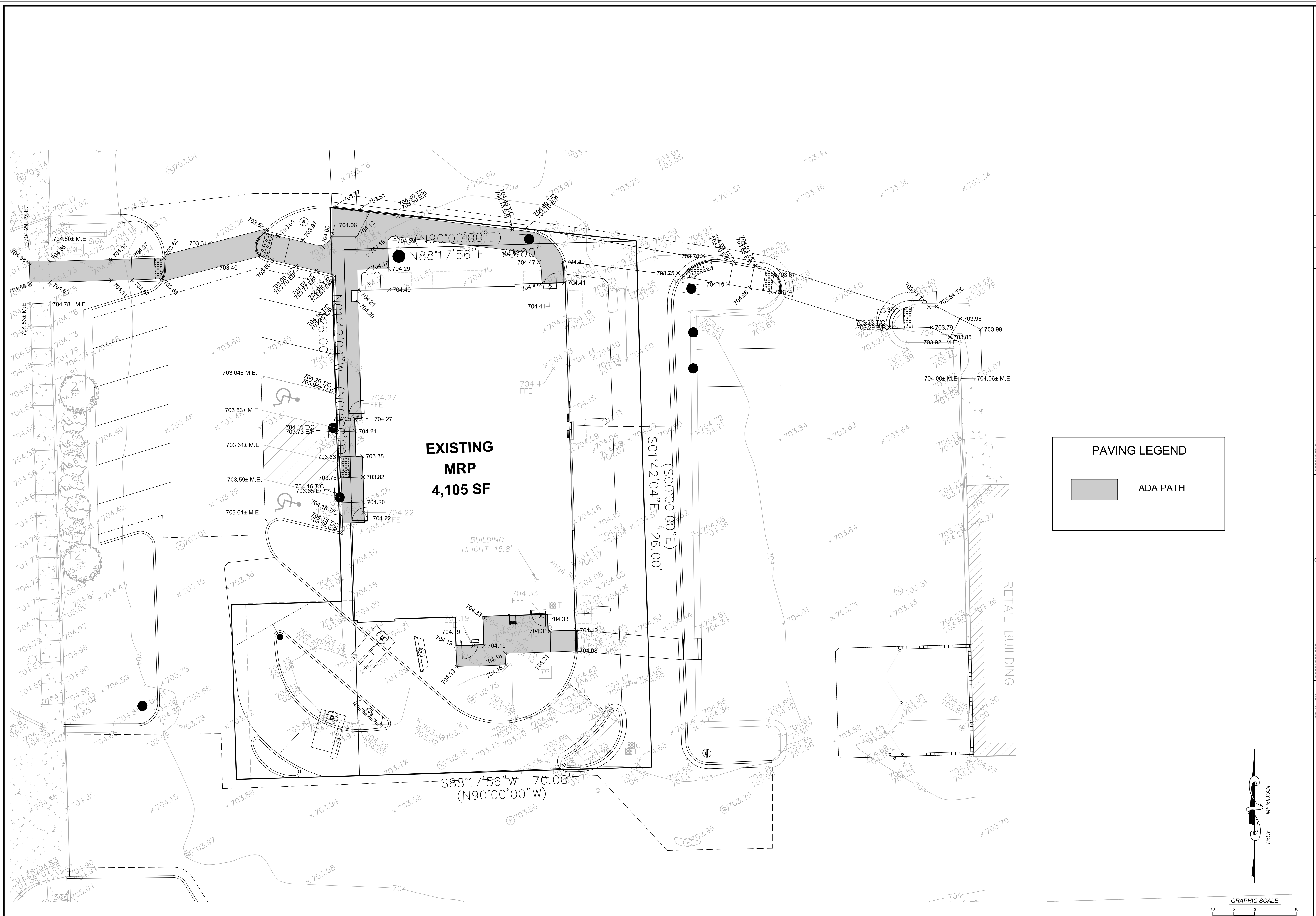
TITLE: GRADING AND EROSION CONTROL PLAN
DESCRIPTION: McDONALD'S - TIMLEY PARK, ILLINOIS
SITE ADDRESS: 012-0262 17171 HARLEM AVE., TIMLEY PARK

SHEET NO.: C-4.0
GRADING AND EROSION CONTROL PLAN

DATE: 01-11-11
STANDARD DWG. NO.: IUM-561D
SHEET 1 OF 1

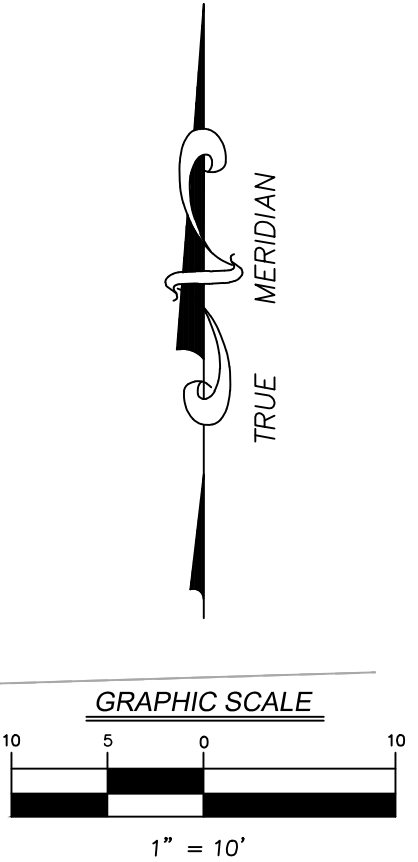
REV	DATE	DESCRIPTION	BY



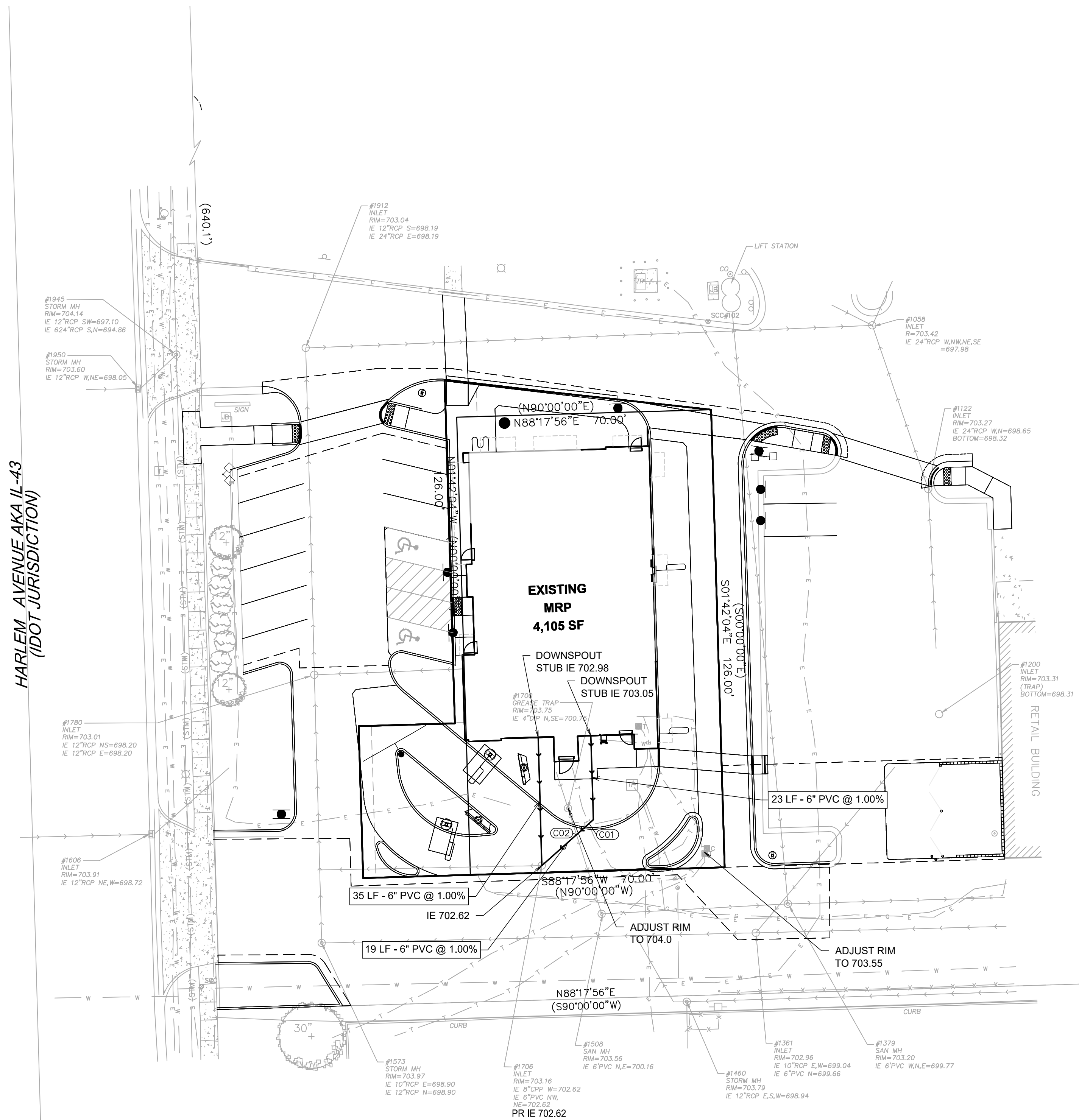


PAVING LEGEND

	ADA PATH
--	----------



DRAWN BY KLS	STD. ISSUE DATE 07-29-16	REVIEWED BY AMU	DATE ISSUED 07-29-16	
<p style="text-align: center;">McDonald's USA, LLC</p> <p style="font-size: small;">These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The conditions of use are prepared for this site only and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.</p>				<p style="font-size: x-small;">PREPARED BY: V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com</p>
<p style="text-align: center;">ACCESSIBILITY PLAN</p> <p style="text-align: center;">DESCRIPTION MCDONALD'S - TIMLEY PARK, ILLINOIS</p> <p style="text-align: center;">SITE ADDRESS 012-0262 17171 HARLEM AVE., TIMLEY PARK</p>				<p style="font-size: x-small;">VILLAGE COMMENTS DESCRIPTION</p>
<p style="text-align: center;">TITLE ACCESSIBILITY PLAN</p> <p style="text-align: center;">SHEET NO. C-4.1</p> <p style="text-align: center;">012-0262</p> <p style="text-align: center;">ACCESSIBILITY PLAN</p>				<p style="font-size: x-small;">REV 2</p> <p style="font-size: x-small;">DATE 3-21-17</p> <p style="font-size: x-small;">BY</p>

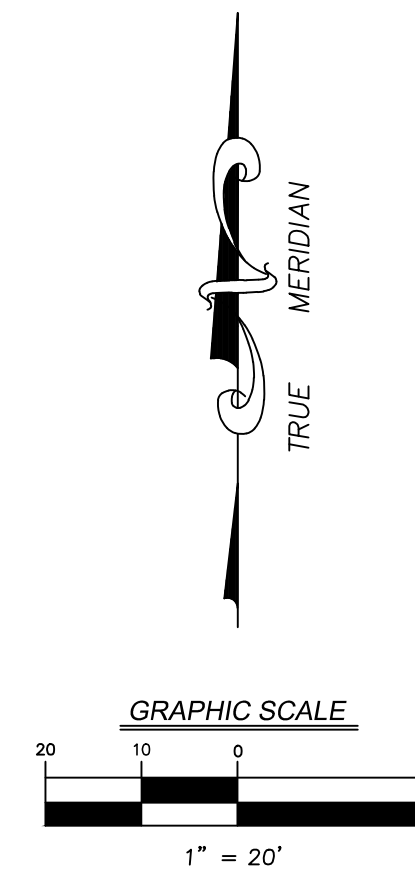


UTILITY CROSSING

- (C01) EX. TELE T/P TO BE VERIFIED IN FIELD
PR 6" DS B/P = 702.80
- (C02) EX. SAN T/P = 700.62
PR 6" DS B/P = 702.76

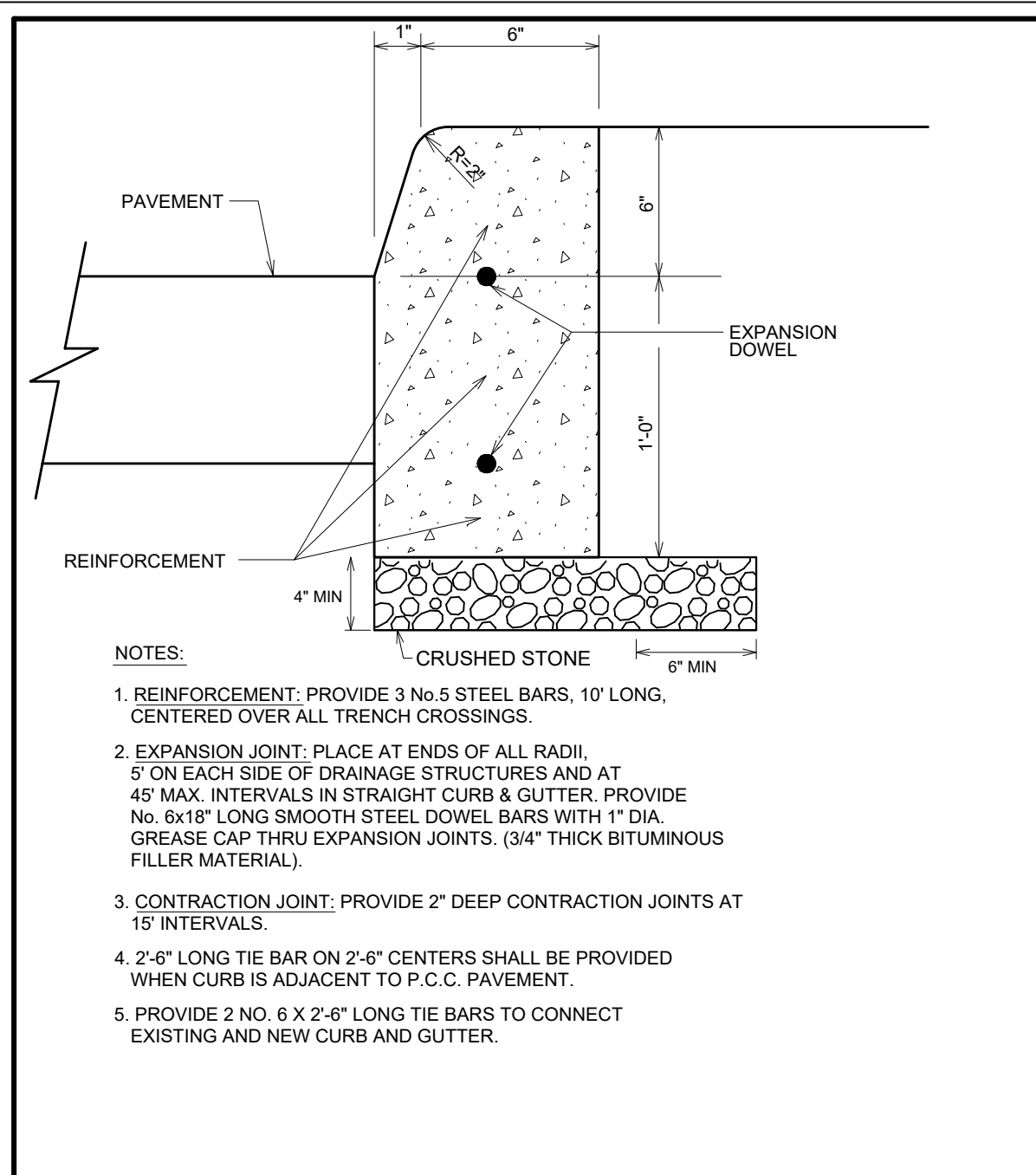
UTILITY NOTES:

1. CONTRACTOR TO FIELD VERIFY LOCATION, INVERT, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.

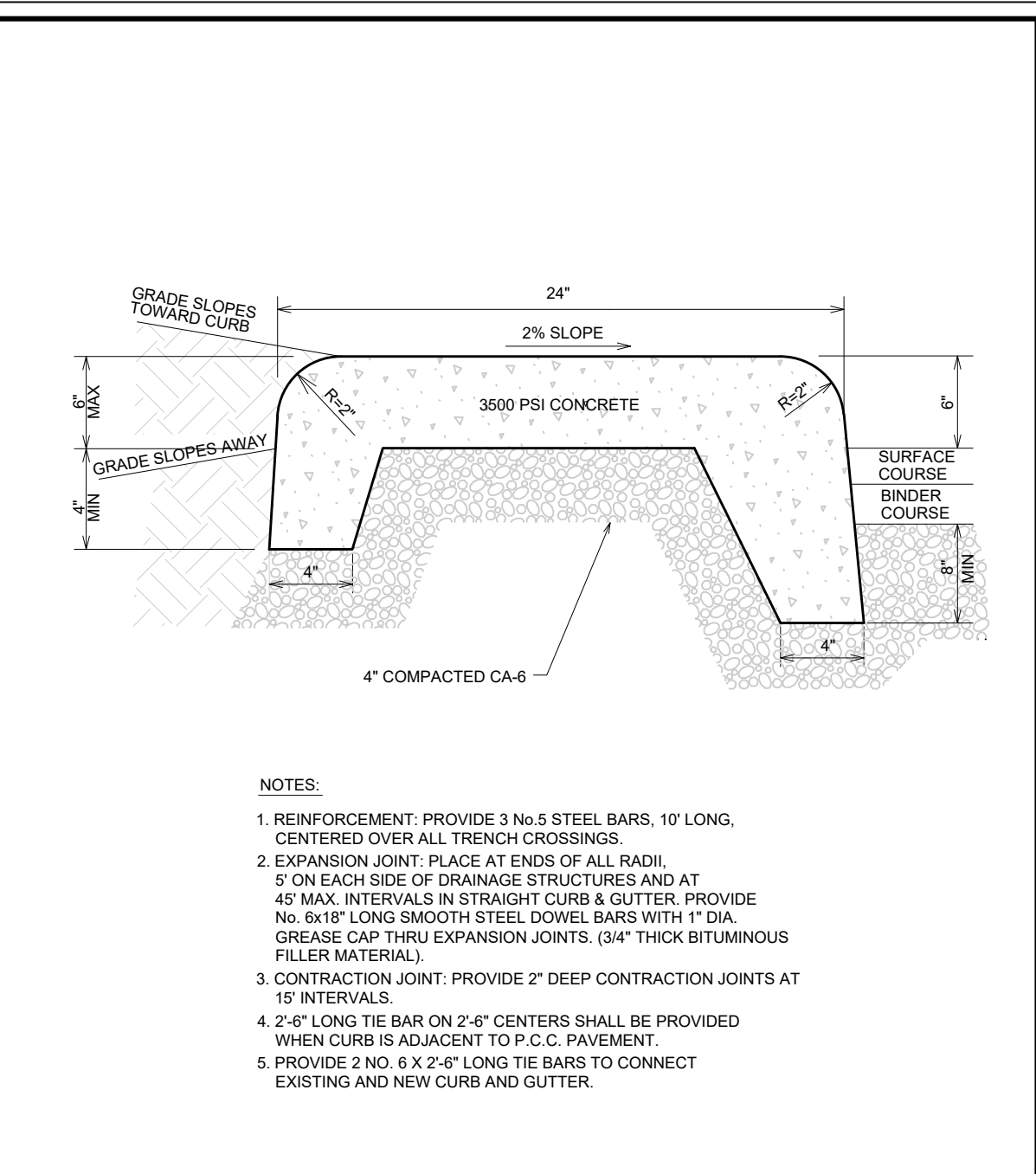


SHEET NO. C-5.0 UTILITY PLAN	TITLE UTILITY PLAN DESCRIPTION MCDONALD'S - TIMLEY PARK, ILLINOIS SITE ADDRESS 012-0262 17171 HARLEM AVE., TIMLEY PARK	DRAWN BY KLS STD ISSUE DATE 07-29-16 REVIEWED BY AMU DATE ISSUED 07-29-16	PREPARED FOR McDonald's USA, LLC <small>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contractor acknowledges that these drawings are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.</small>	PREPARED BY V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com 	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	BY												
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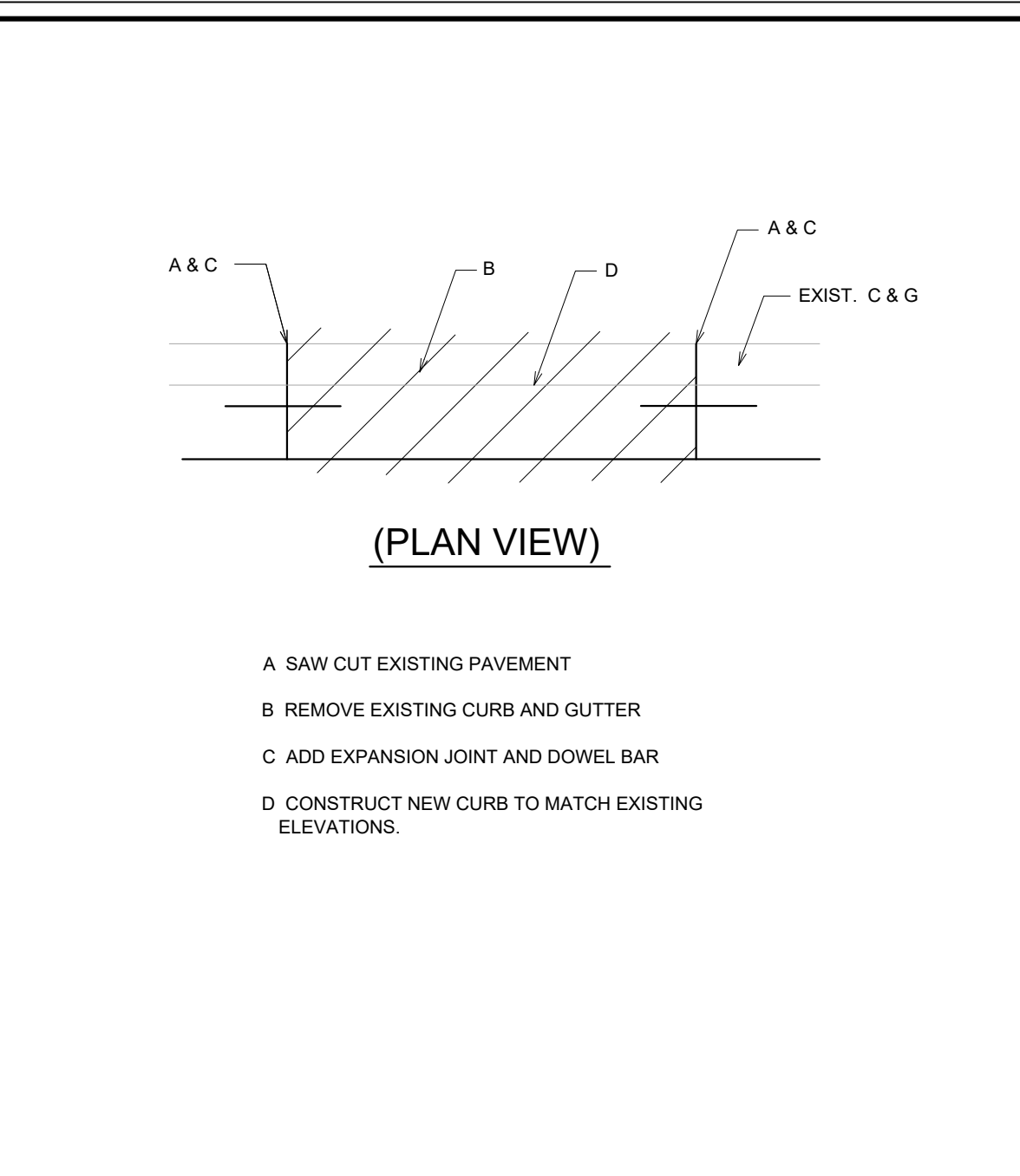
HARLEM AVENUE AKA IL-43 (IDOT JURISDICTION)



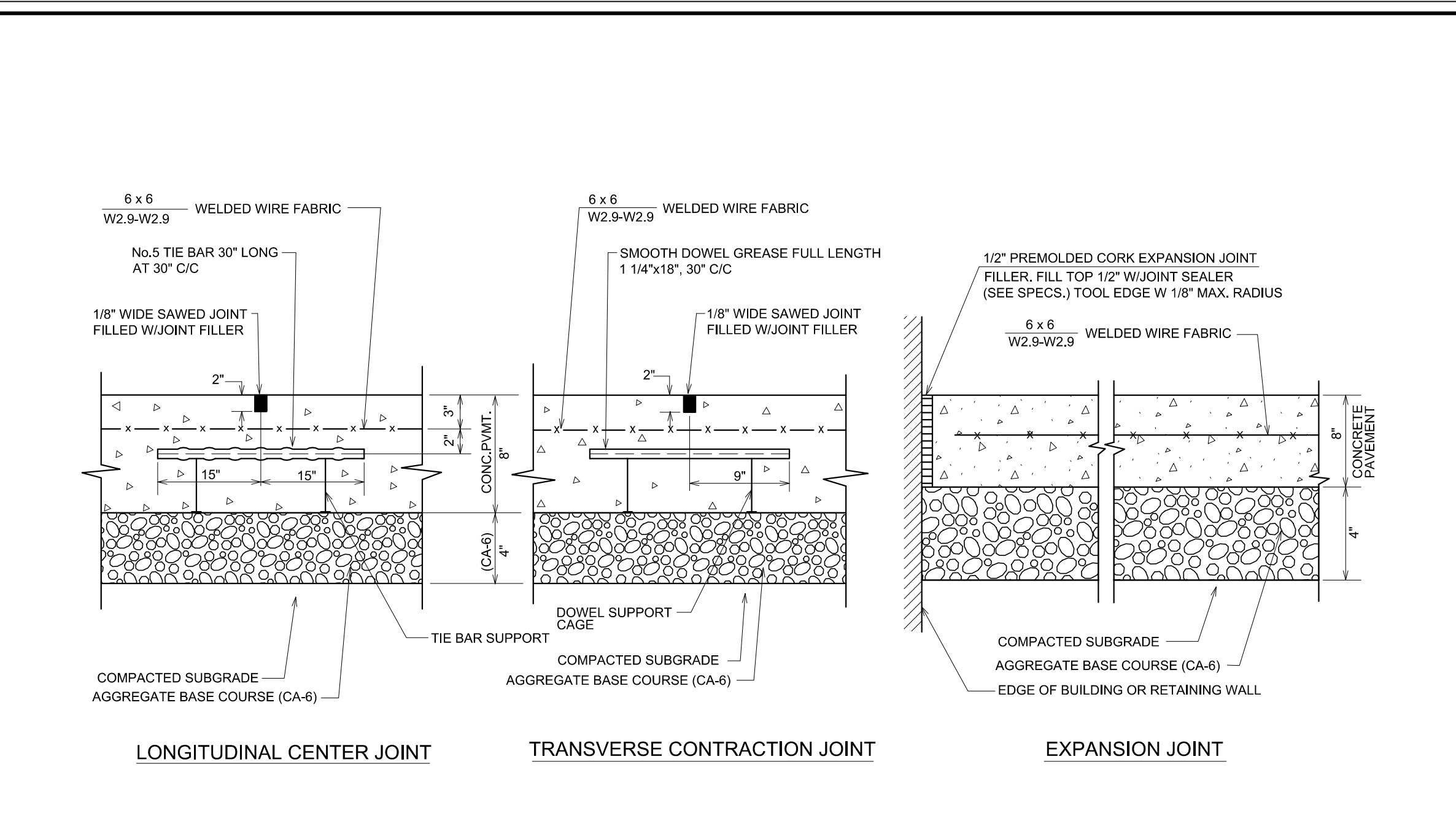
B6 BARRIER CURB



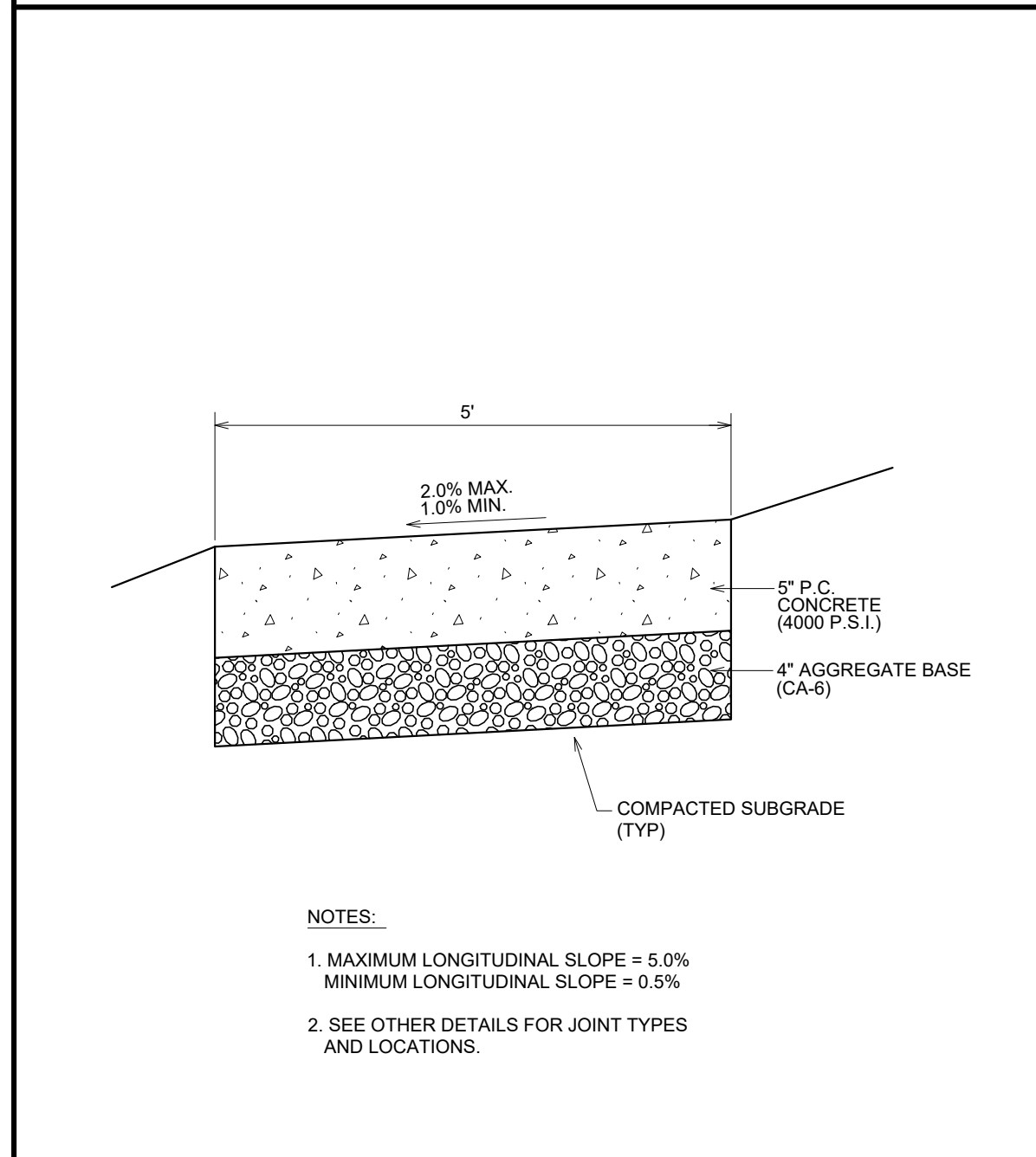
10' x 24' CURB



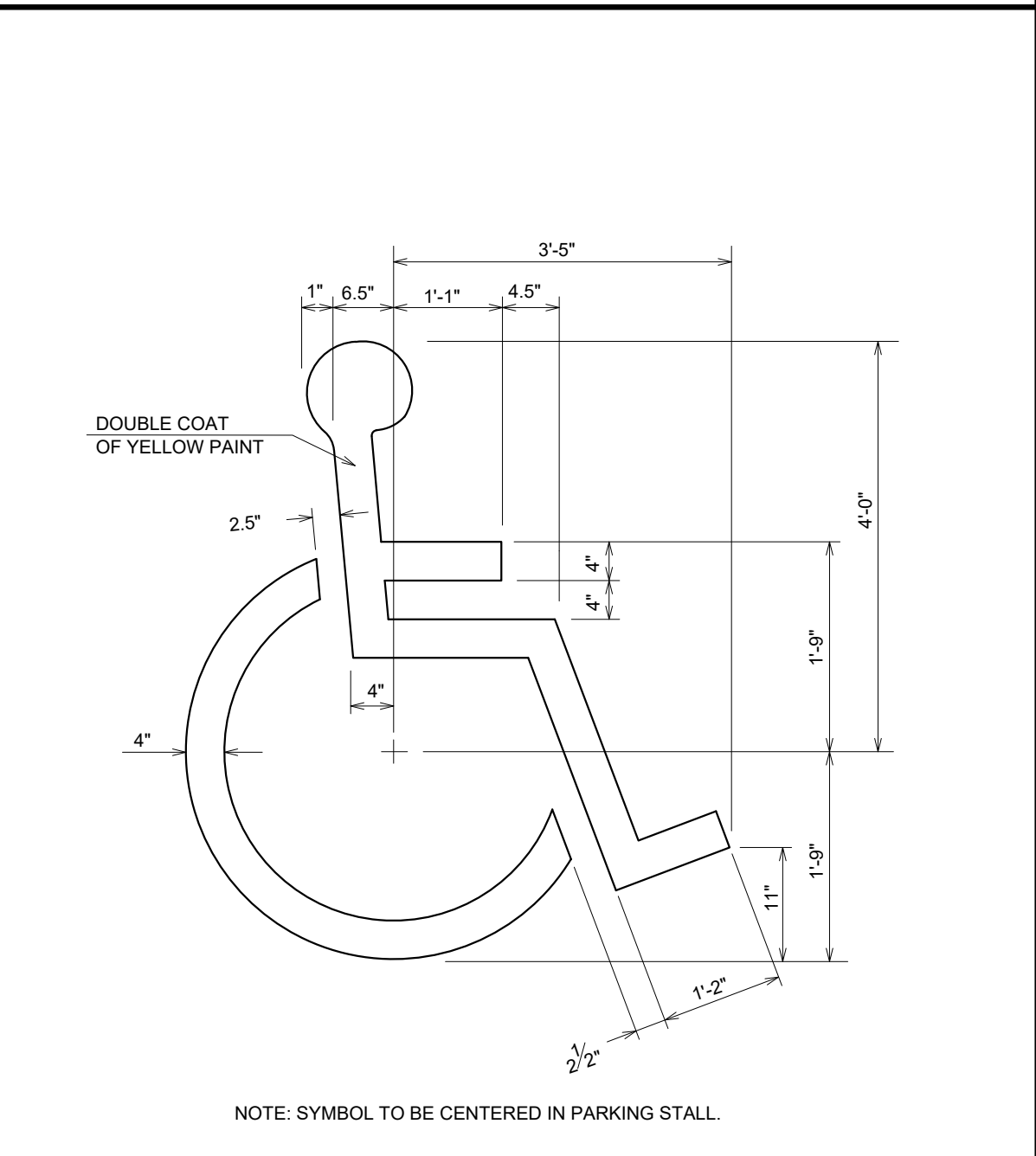
CURB AND GUTTER REMOVAL AND REPLACEMENT



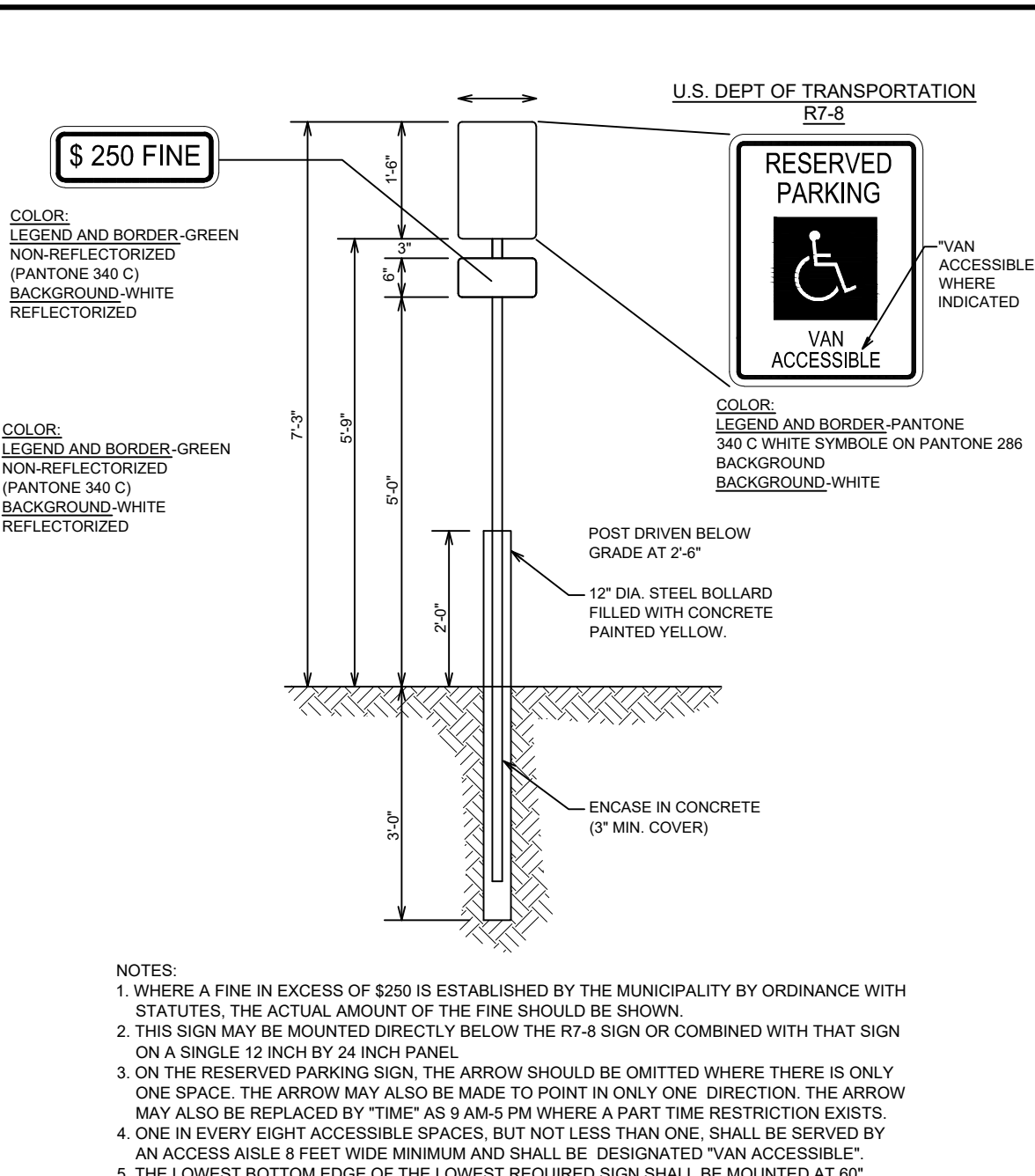
CONCRETE PAVEMENT JOINTS



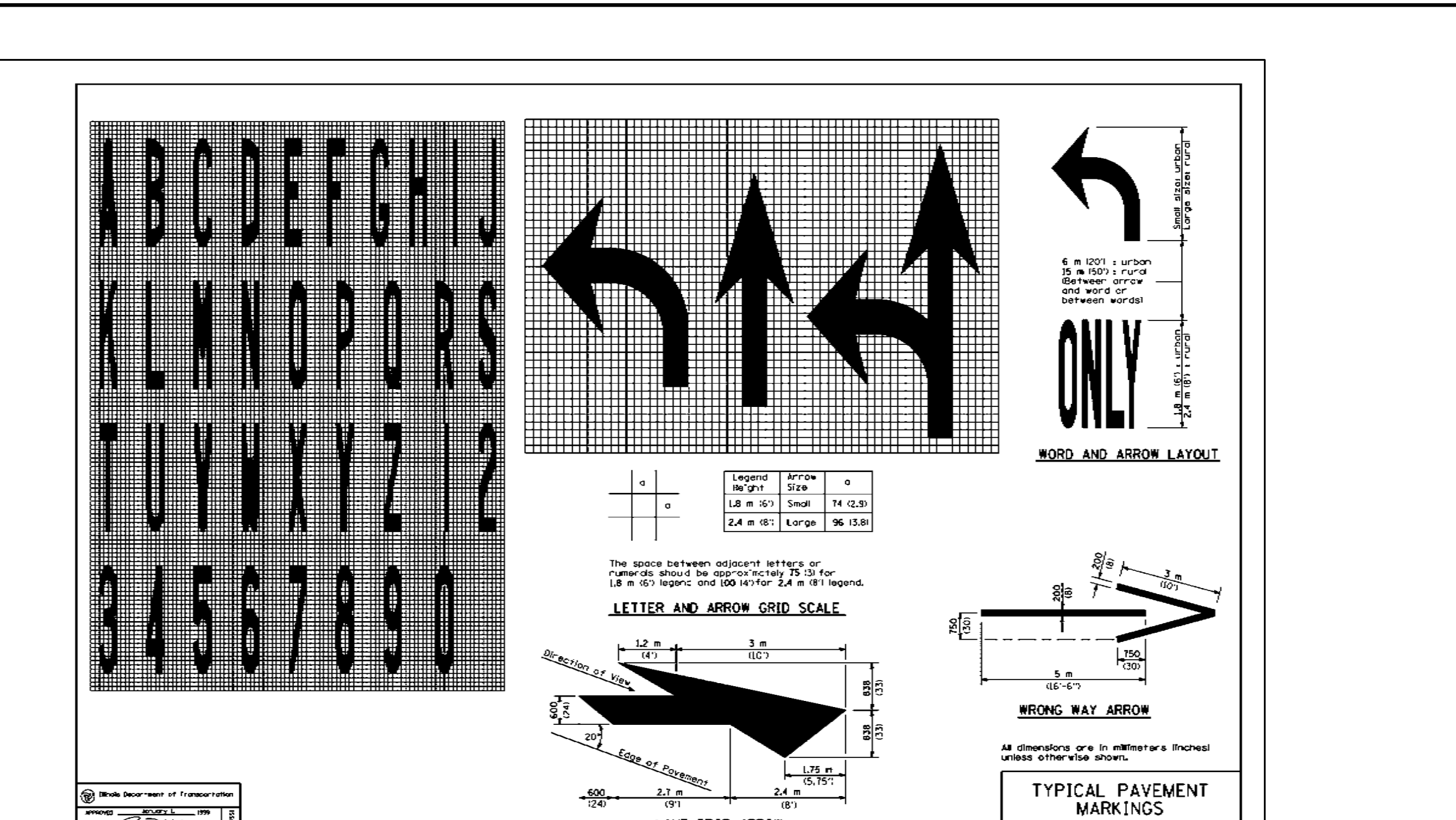
CONCRETE SIDEWALK



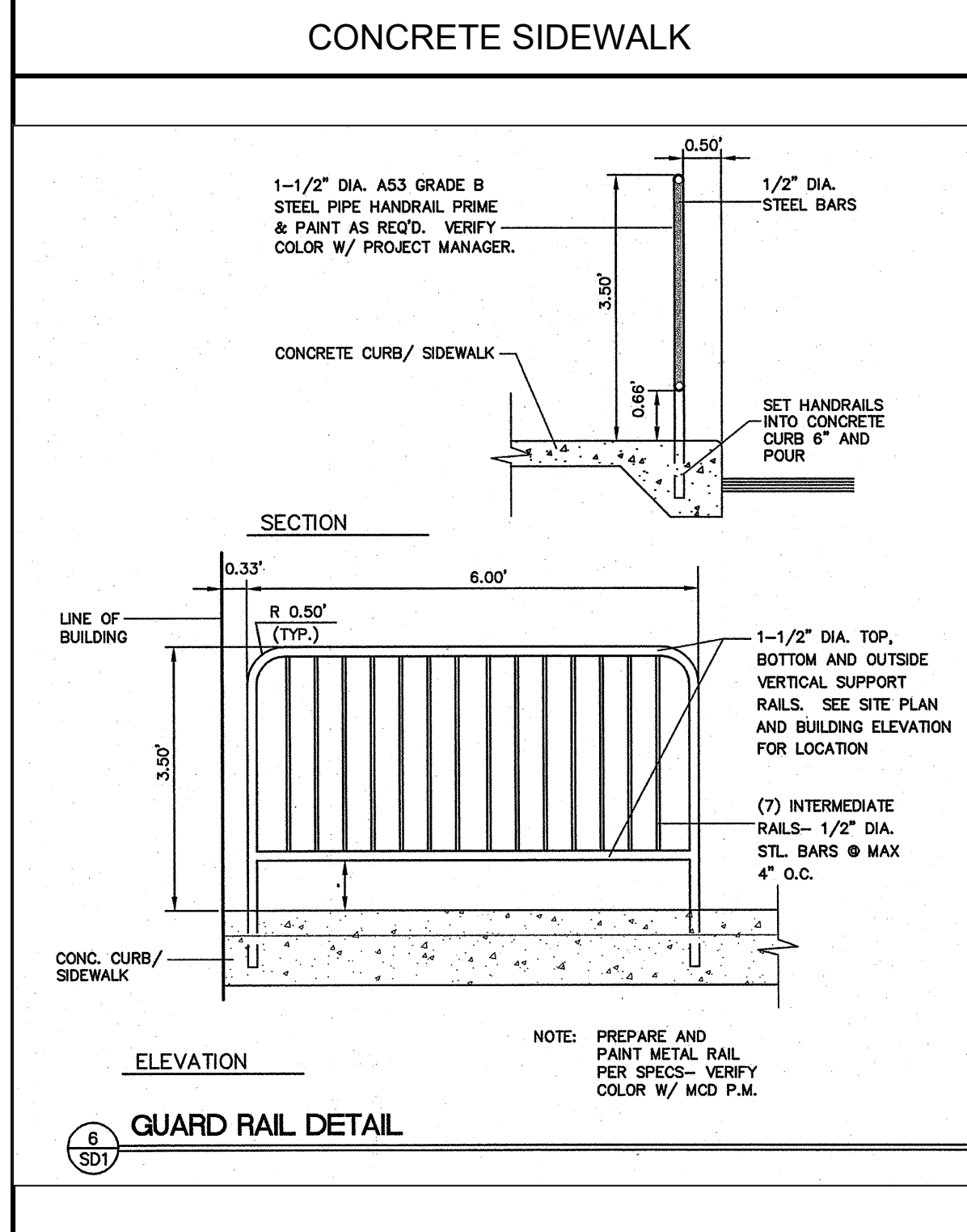
PAINTED ACCESSIBLE STALL SYMBOL



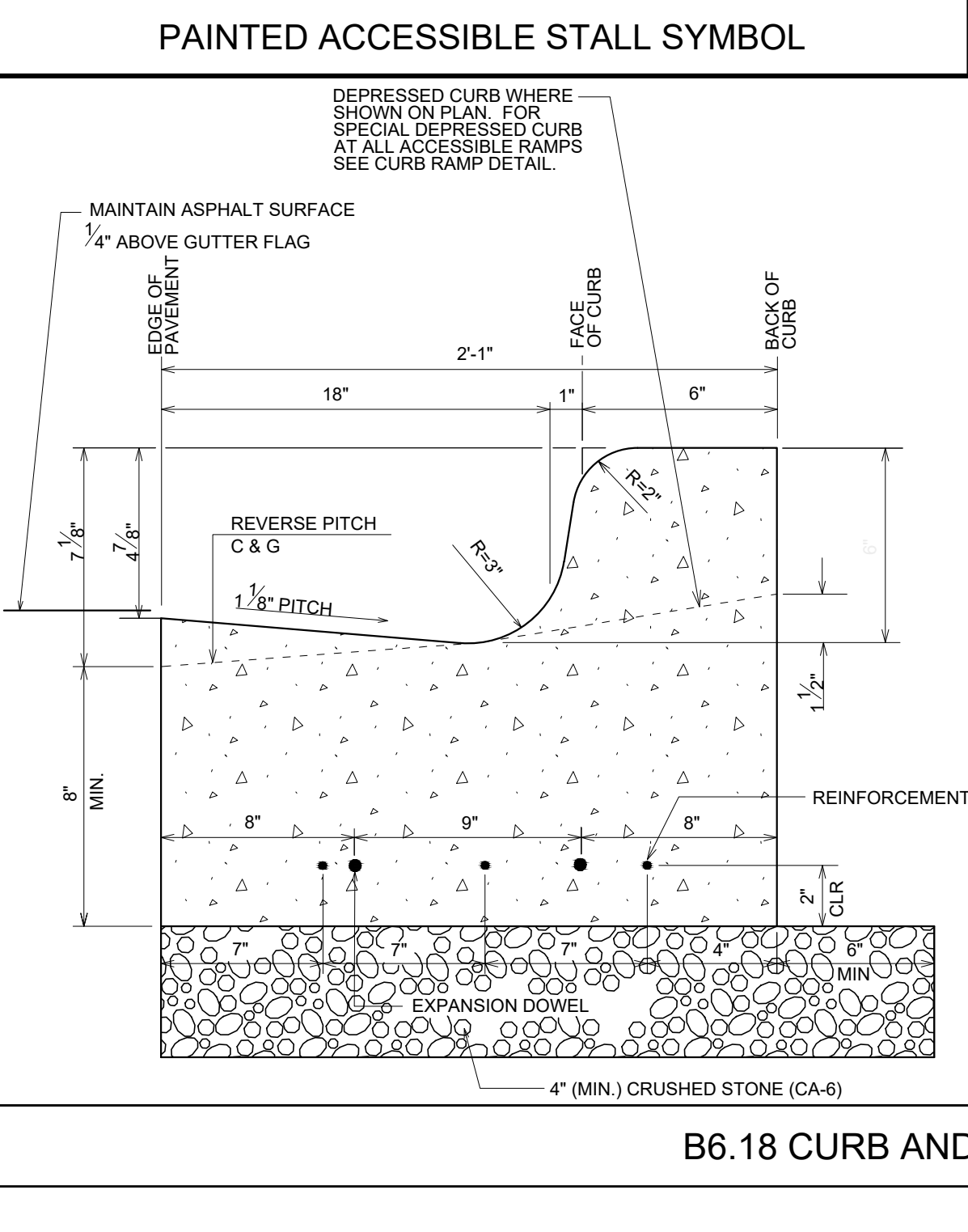
ACCESSIBLE PARKING SPACE SIGN WITH POST DETAIL



TYPICAL PAVEMENT MARKINGS



GUARD RAIL DETAIL

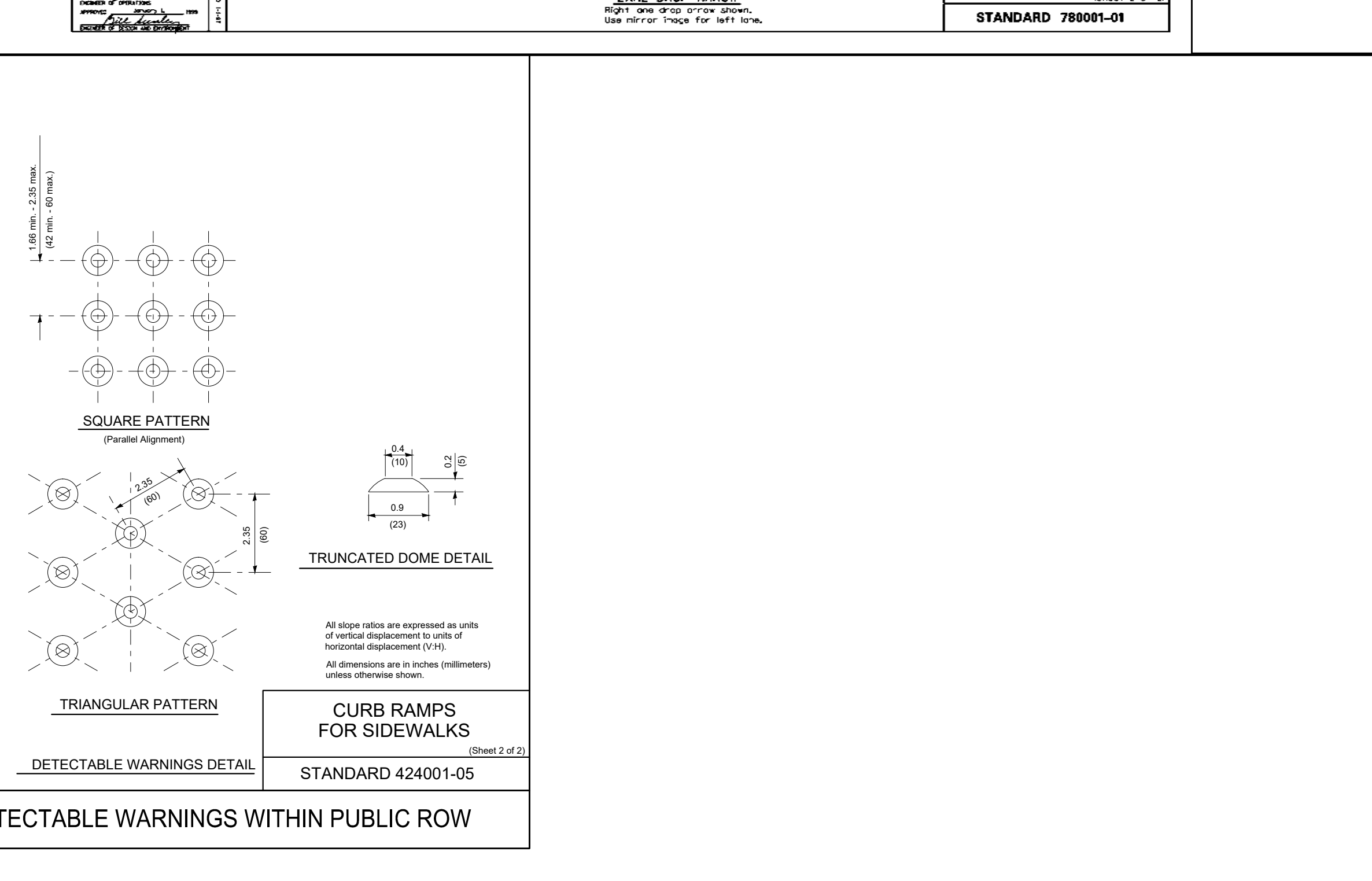


B6.18 CURB AND GUTTER

RELATIVE ELEVATIONS		
	STANDARD PITCH	REVERSE PITCH
E/P	0.00	0.00
GUTTER FLAG	-1/4" (-0.021)	+1/4" (+0.021)
FLOW LINE	-1/2" (-0.115)	+1/2" (+0.115)
T/C	+4/2" (+0.385)	+8/2" (+0.677)

NOTES:

- REINFORCEMENT: PROVIDE 3 No. 5 STEEL BARS, 10' LONG, CENTERED OVER ALL TRENCH CROSSINGS.
- EXPANSION JOINT: PLACE AT ENDS OF ALL RADII, 5' ON EACH SIDE OF DRAINAGE STRUCTURES AND AT 90' MAX. INTERVALS IN STRAIGHT CURB & GUTTER. PROVIDE No. 6x18" LONG SMOOTH STEEL DOWEL BARS WITH 1" DIA. GREASE CAP THRU EXPANSION JOINTS. (3/4" THICK BITUMINOUS FILLER MATERIAL).
- CONTRACTION JOINT: PROVIDE 2" DEEP CONTRACTION JOINTS AT 15' INTERVALS.
- 2'-6" LONG TIE BAR ON 2'-6" CENTERS SHALL BE PROVIDED WHEN CURB IS ADJACENT TO P.C.C. PAVEMENT.
- 2 DRILLED AND GROUTED NO. 5 REBARS SHALL BE USED TO TIE PROPOSED CURB AND GUTTER TO EXISTING CURB AND GUTTER.



DETECTABLE WARNINGS WITHIN PUBLIC ROW

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REVISIONS:

NO.	DATE	DESCRIPTION	BY

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CONSTRUCTION DETAILS
MCDONALD'S - TINLEY PARK, ILLINOIS

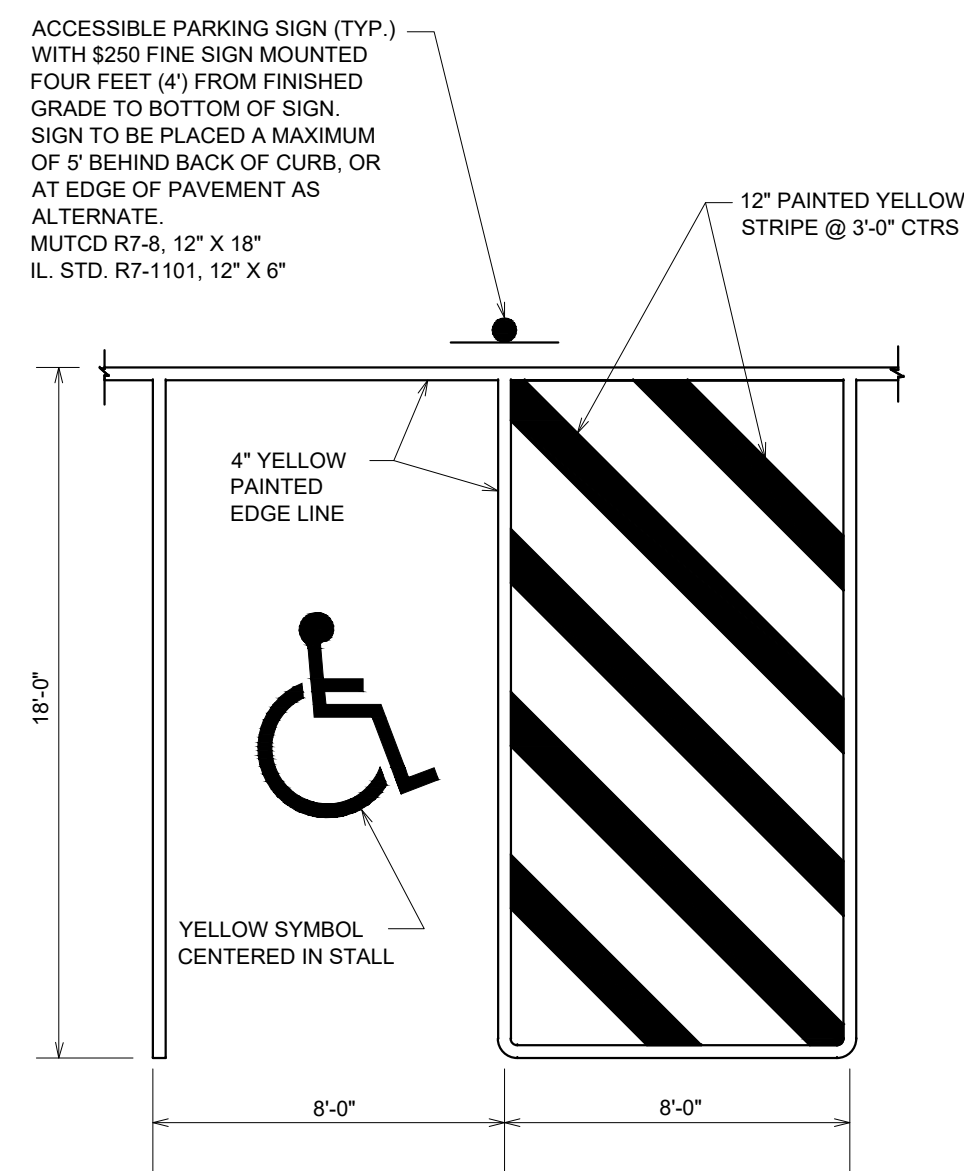
012-0262
C-6.0
CONSTRUCTION DETAILS

06240-51MRP - CONSTRUCTION DETAILS

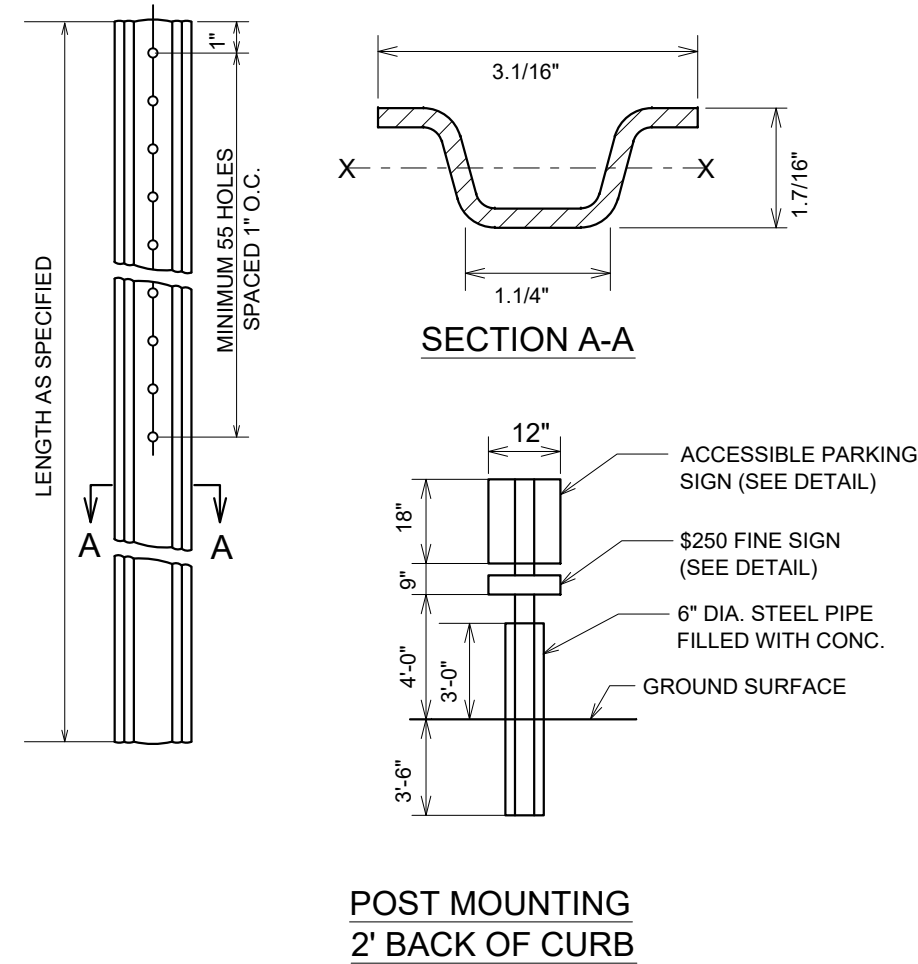


ACCESSIBLE PARKING SIGN
WITH \$250 FINE SIGN
MUTCD R7-8, 12"x18"
IL. STD. R7-1101, 12"x6"

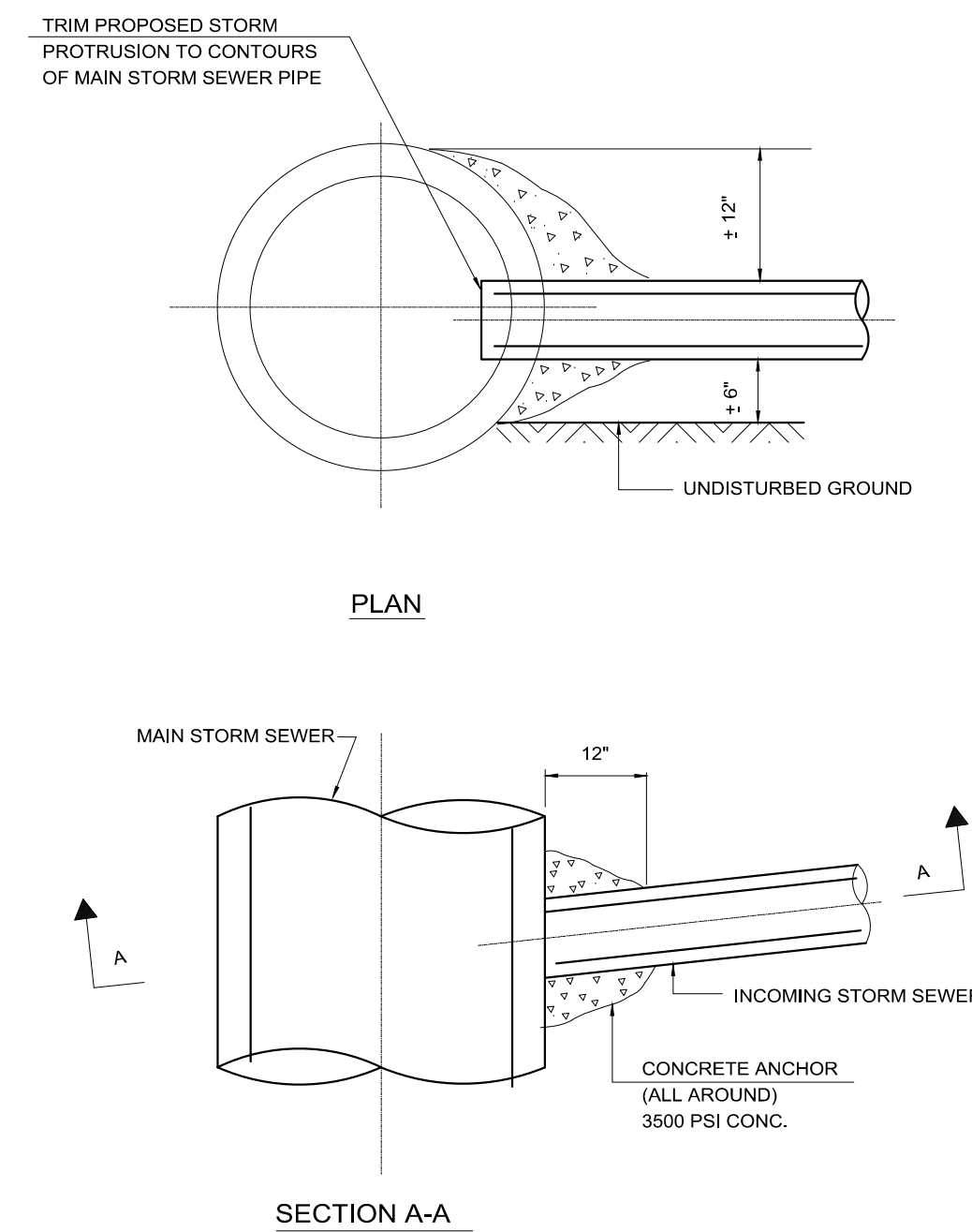
ACCESSIBLE PARKING SIGN



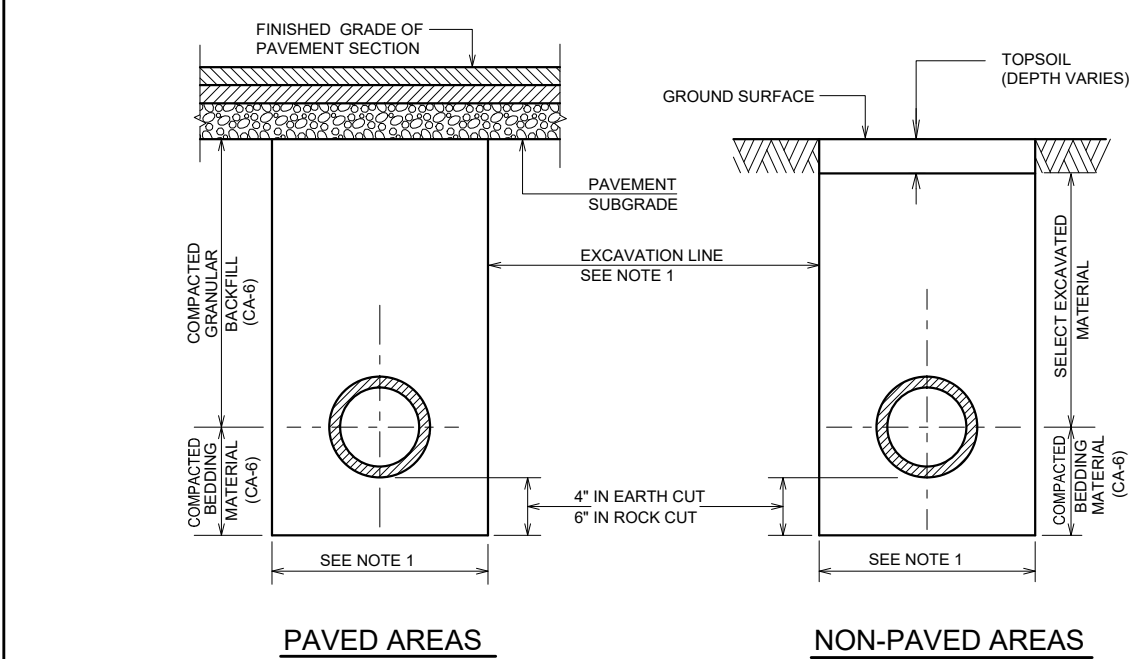
ACCESSIBLE PARKING STALL DETAIL



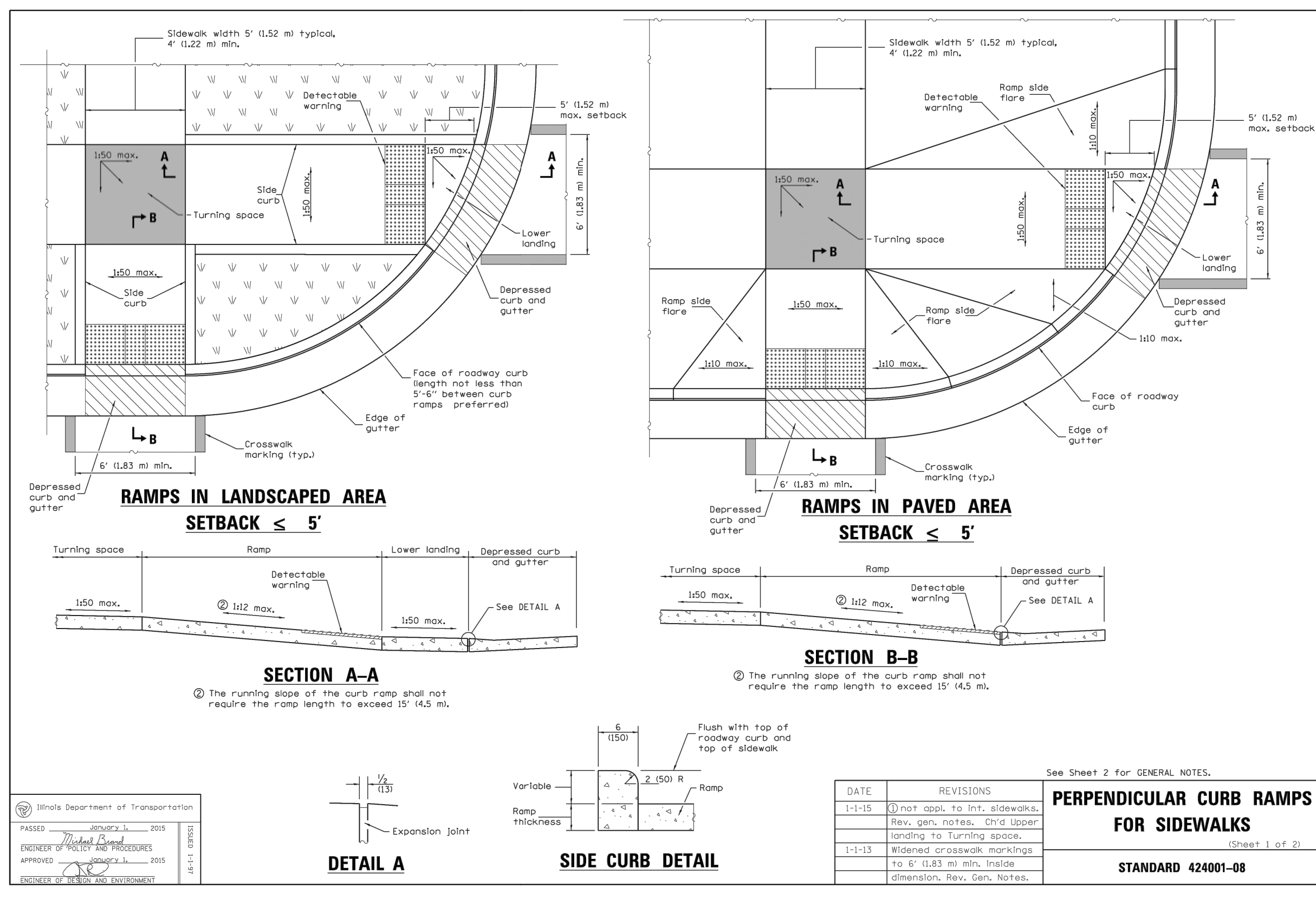
SIGN POST DETAIL



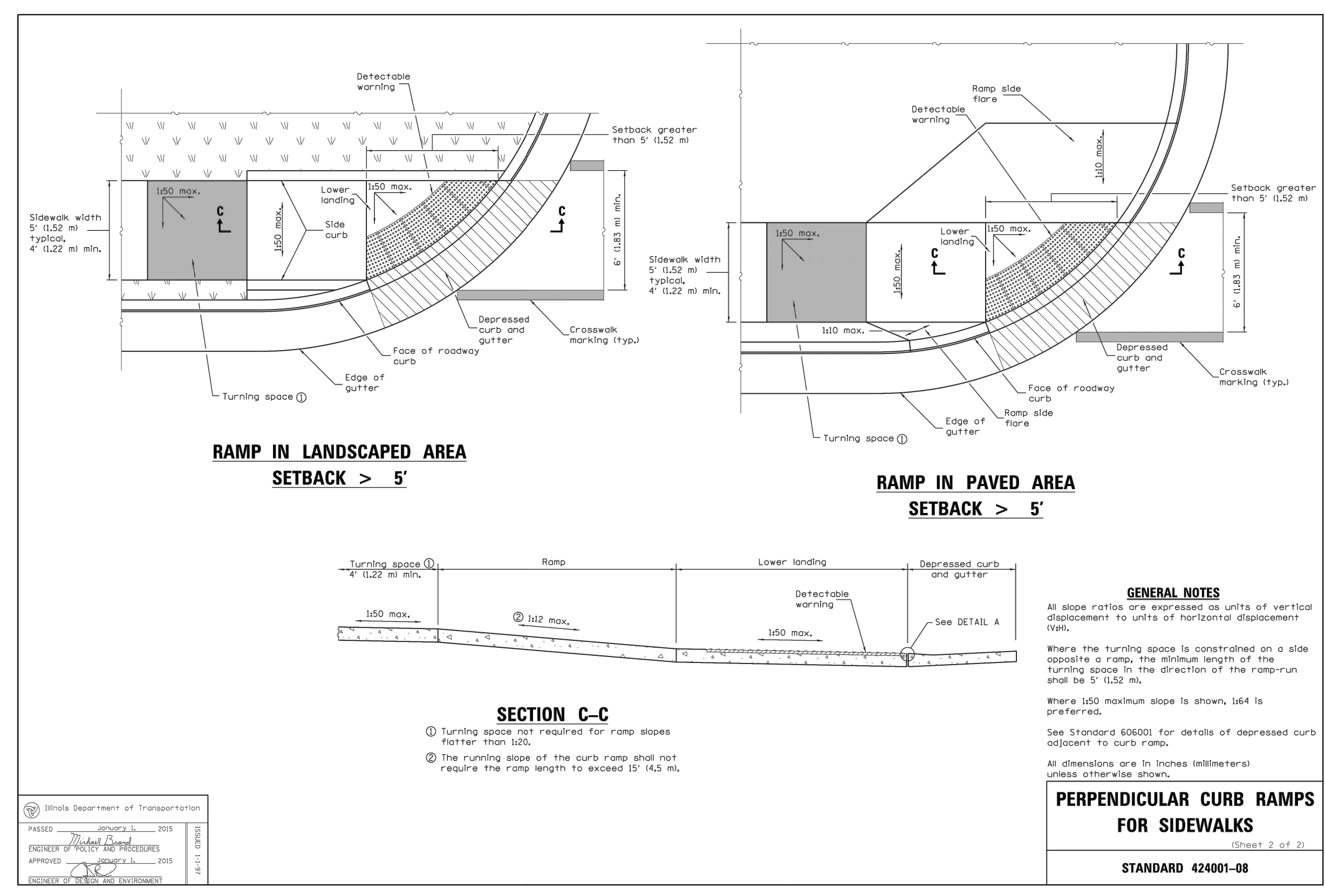
STORM SEWER CONNECTION



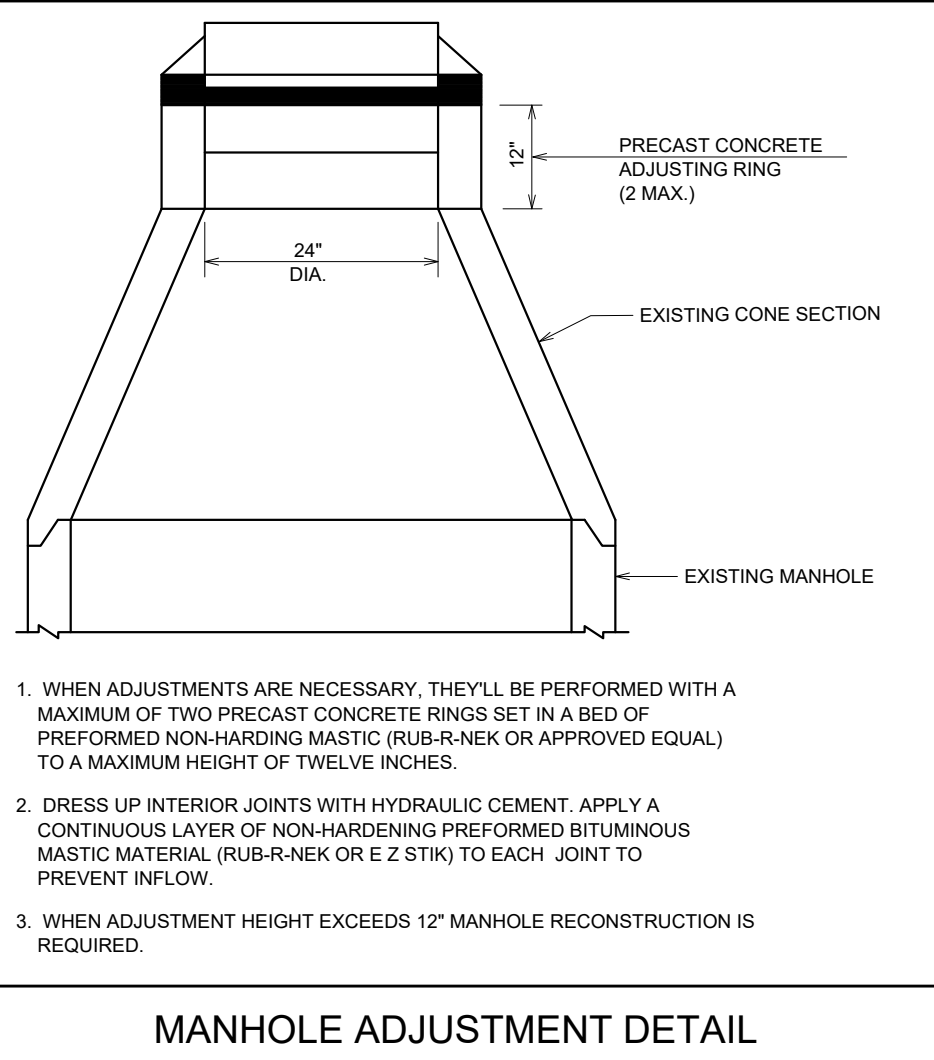
TRENCH BACKFILL SECTIONS FOR STORM SEWER



PERPENDICULAR CURB RAMPS
FOR SIDEWALKS
STANDARD 424001-08



PERPENDICULAR CURB RAMPS
FOR SIDEWALKS
STANDARD 424001-08



MANHOLE ADJUSTMENT DETAIL

NO.	DATE	REV	DESCRIPTION	BY

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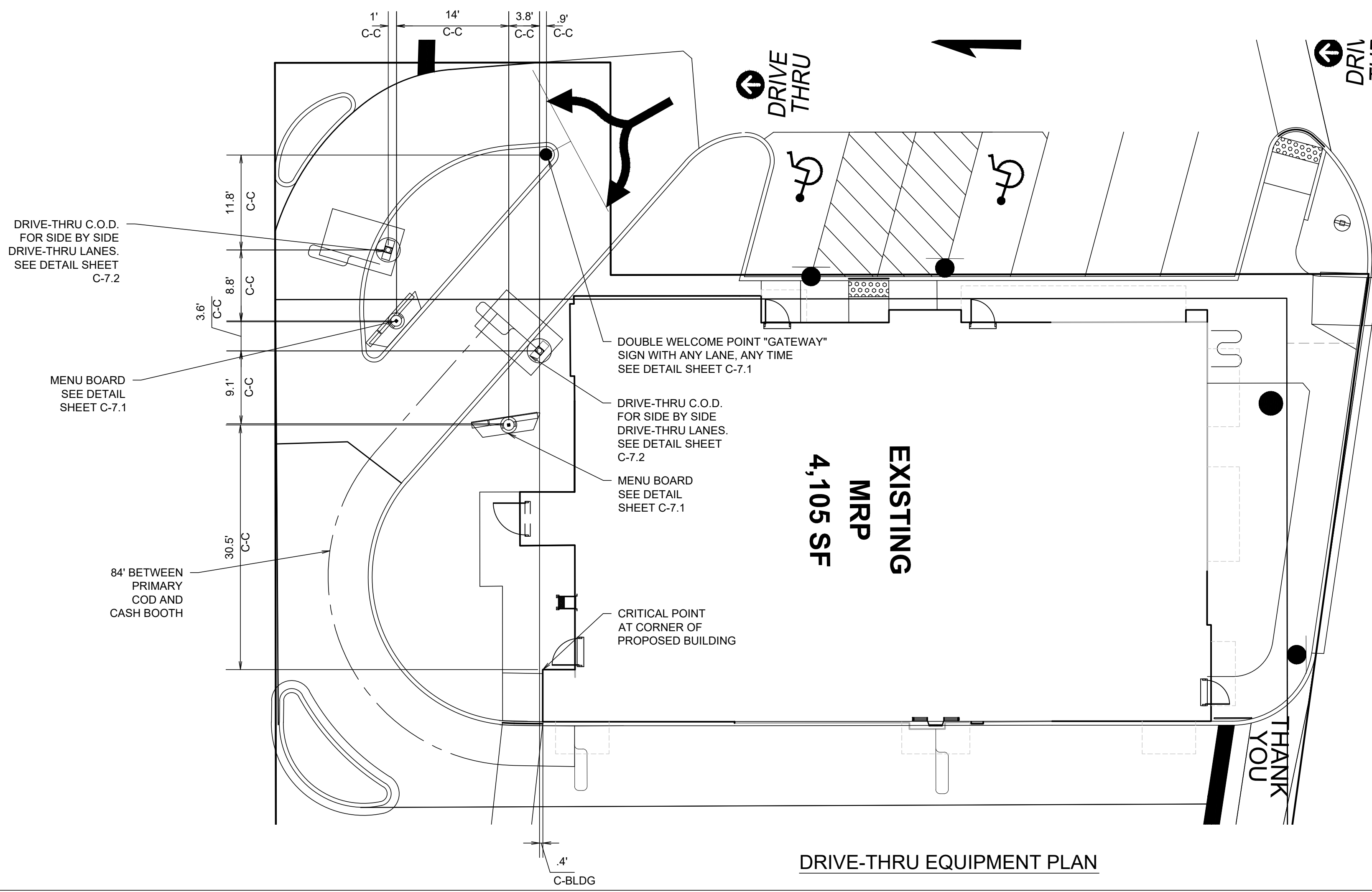
DRAWN BY: BJD
 STD ISSUE DATE: 07-29-16
 REVIEWED BY: MRV
 DATE ISSUED: 07-29-16

TITLE: CONSTRUCTION DETAILS
 DESCRIPTION: MCDONALD'S - TINLEY PARK, ILLINOIS
 SHEET NO.: 012-0262
 SITE ADDRESS: 17171 HARLEM AVE., TINLEY PARK

012-0262

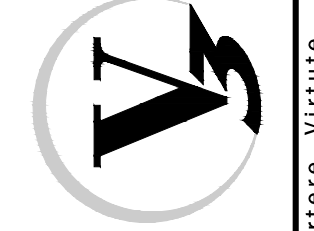
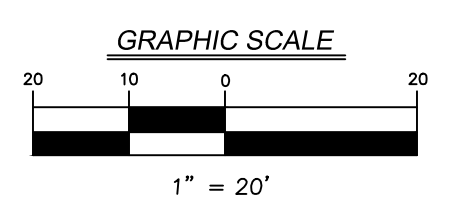
C-6.1

CONSTRUCTION DETAILS



NOTES

1. THE LOCATION & ORIENTATION OF MENU BOARDS WERE DETERMINED BY THE SIGHT LINES OF THE CARS SHOWN ON SHEET C-3.0. THE CARS WERE POSITIONED ACCORDING TO THE MAX. AMOUNT OF CARS DURING A PEAK PERIOD. ALL DIMENSIONS SHOWN ARE BASED UPON PROTOTYPICAL LAYOUTS. ACTUAL DIMENSIONS TO BE BASED ON SITE SPECIFIC CONFIGURATIONS.
2. THE MENU BOARD IS ORIENTATED FOR VIEWING BY THE PRIMARY USER & SECONDARY USER.
3. PROVIDE TWO CIRCUITS FOR MENU BOARDS. ONE CIRCUIT FOR LIGHTS & ONE CIRCUIT WITH LOCK FOR MOTOR & CONTROLLER. REFER TO ELECTRICAL PLANS FOR TERMINATION OF CONDUIT RUNS INSIDE BUILDING.
4. ALL GALVANIZED ANCHOR BOLTS TO BE SUPPLIED & INSTALLED BY THE CONTRACTOR.
5. THE PLACEMENT OF THE CUSTOMER ORDER DISPLAY SHOULD BE SUCH THAT IT DOES NOT BLOCK THE VIEWING OF THE MENU BOARD FROM THE DRIVER'S VANTAGE POINT.
6. VERIFY ALL DRIVE-THRU EQUIPMENT WITH MCDONALD'S PROJECT & OPERATIONS MANAGER BEFORE PROCEEDING.

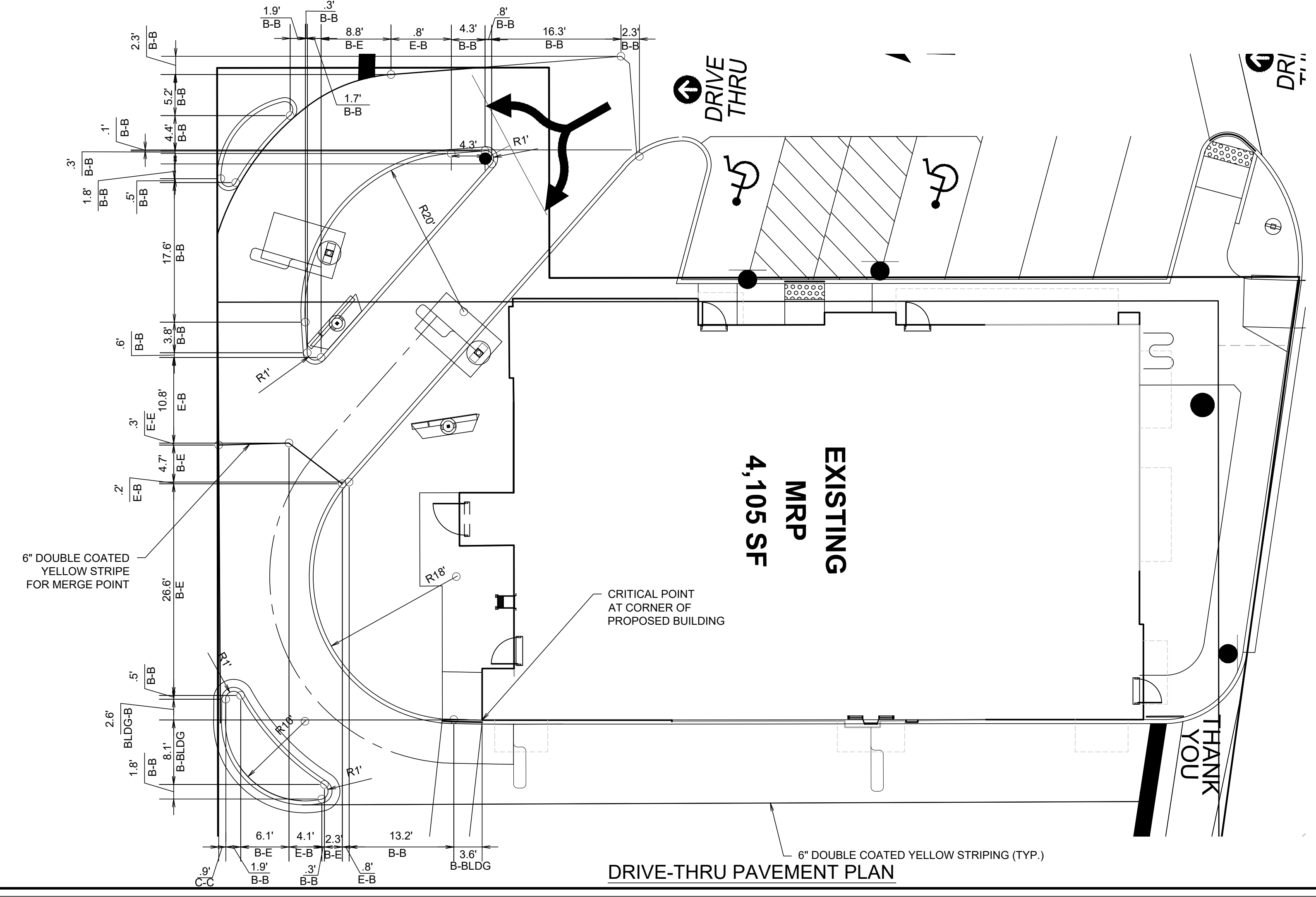


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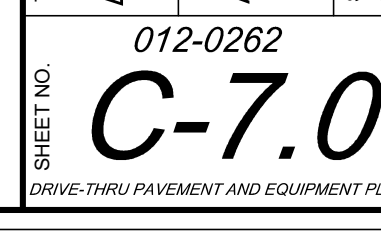
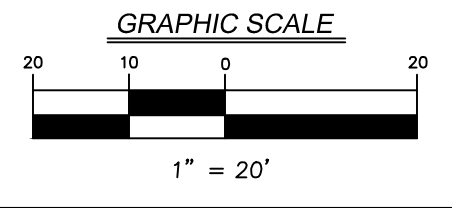
VISION - VIRTUTE... The Vision to Transform with Excellence

NO.	DESCRIPTION	REV	DATE	BY



NOTES

1. THESE DIMENSIONS ARE CRITICAL TO THE FUNDAMENTAL LAYOUT OF THE SIDE BY SIDE LOCATION.
2. IF DIMENSIONS ARE MODIFIED CONTACT THE DESIGN ENGINEER IMMEDIATELY.



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TITLE	DRAWN BY	STD. ISSUE DATE	REVIEWED BY	DATE ISSUED
DRIVE-THRU PAVEMENT AND EQUIPMENT PLAN	KLS	07-29-16	AMU	07-29-16
DESCRIPTION				
MCDONALD'S - TIMLEY PARK, ILLINOIS				
SHEET NO.	SITE ADDRESS			
C-7.0	012-0262 17171 HARLEM AVE., TIMLEY PARK			

NO.	DESCRIPTION	REV	DATE	BY

INSTALLATION INSTRUCTIONS

- SLIDE LARGE ASSEMBLED 4 SECTION CLADDING ONTO WELCOME POINT GATEWAY POLE FROM THE CURB SIDE (SEE FIGURE 1).
- SECURE CLADDING TO POLE BY HOLDING THE CURB SIDE OF THE CLADDING AGAINST THE POLE AND FASTENING THE 1/4" x 3/4" x 25" BRACKETS TO THE CLADDING WITH #8-18x3/4" PH TRUSS HD SCREWS. INSERT #8-32 x 1/2" SHOULDER SCREWS INTO BRACE ANGLE MOUNTED TO CLADDING. (2) TOTAL (SEE FIGURE 2).
- INSERT (16) #8-18 x 1 1/2" HOOK TYPE SCREWS W/ 1/4" x 1/8" NYLON BUSHINGS INTO HOLES IN LOCATIONS SHOWN. (4 PER PANEL).
- SLIDE BOTTOM REMOVABLE PANEL OVER BOTTOM 4 SCREWS. MAKE SURE PANEL IS FLUSH WITH BOTTOM OF CLADDING TO ENSURE PROPER INSTALLATION (SEE FIGURE SIDE VIEW).

Rev. DESCRIPTION DATE APPROVED
A INITIAL RELEASE 10/01/10 JMW
B STEP (B) CHANGED SCREW ADDED BRUSHING 10/13/10 JMW
C STEP (B) CHANGED SCREW 11/19/10 JMW

Everbrite
MCDonald's USA, LLC

PRODUCT: MCDONALD'S WPG CLADDING
TITLE: SP WPG CLADDING INSTALLATION
SCALE: 1/30 TYPE INSTALL SHEET 1 OF 2

Temporarily remove this piece by removing (4) #8 screws from top and (2) #10 screws from bottom in order to mount swing arm to pole.

Remove this cover by removing (6) #8 screws in order to adjust tension in springs.

1/4-20 adjusting nuts for swing arm tension

Rev. DESCRIPTION DATE APPROVED
A INITIAL RELEASE 04/AN/08
J DELETED GROUT INSTALLATION 08/03/10 JMW
K UPDATED FOUNDATION & WINDLOAD SPEC 08/03/12 JMW

Everbrite
MCDonald's USA, LLC

PRODUCT: MCD ARCADE BUILDING WPG
TITLE: DOUBLE WPG SWING ARM
SCALE: 1/8 TYPE INSTALL SHEET 2 OF 2

Rev. DESCRIPTION DATE APPROVED
A INITIAL RELEASE 04/AN/08
J DELETED GROUT INSTALLATION 08/03/10 JMW
K UPDATED FOUNDATION & WINDLOAD SPEC 08/03/12 JMW

Everbrite
MCDonald's USA, LLC

PRODUCT: MCD ARCADE BUILDING WPG
TITLE: DOUBLE WPG SWING ARM
SCALE: 1/32 TYPE INSTALL SHEET 1 OF 2

Rev. DESCRIPTION DATE APPROVED
A INITIAL RELEASE 08/29/12 RCW

INSTRUCTIONS:
1) MEASURE AND MARK 0.1" FROM THE BOTTOM OF THE CLADDING SECTION THAT THE SIGN WILL MOUNT TO (SEE DETAIL A).
2) ALSO, BOTTOM OF ALUMINUM BRACKET WITH THE MARK FROM STEP 1. CENTER IT. DRILL A PILOT HOLE IN THE CLADDING FOR A #8-18 SELF TAPPING SCREW USING HOLE 'A' (SEE DETAIL A) AS A TEMPLATE. INSERT SILICONE IN THE HOLE AND DRILL IN THE SUPPLIED #8-18 SELF TAPPING SCREW (SEE FIGURE 1).
3) DOUBLE CHECK TO INSURE SIGN IS LEVEL BEFORE DRILLING PILOT HOLES FOR "C", "C'" AND "D" (SEE DETAIL A). INSERT SILICONE IN THE HOLES AND DRILL IN THE SUPPLIED #8-18 SELF TAPPING SCREWS (SEE FIGURE 2).
4) COVER HEADS OF SELF TAPPING SCREWS WITH SILICONE.
5) ATTACH THE FACE TO THE BACK WITH THE SUPPLIED YELLOW #8-32 SCREWS (SEE FIGURE 3).

Everbrite
MCDonald's USA, LLC

PRODUCT: MCD SWG ARM WPG DOUBLE
TITLE ASSY. MCD SWG ARM WPG DOUBLE
SCALE: 1/30 TYPE INSTALL SHEET 1 OF 1

3/4" POWER CONDUIT (min) LIGHTS 120V/60, 15 AMP, ON DEMAND 14 AWG, CONTRACTOR SUPPLIED

3/4" POWER CONDUIT (min) LIGHTS 120V/60, 15 AMP, ON DEMAND 14 AWG, CONTRACTOR SUPPLIED

1" CONTROL CONDUIT (min)

1" CONTROL CONDUIT (min)

3/4" POWER CONDUIT (min) LIGHTS 120V/60, 15 AMP, ON DEMAND 14 AWG, CONTRACTOR SUPPLIED

1" CONTROL CONDUIT (min)

3/4" POWER CONDUIT (min) LIGHTS 120V/60, 15 AMP, ON DEMAND 14 AWG, CONTRACTOR SUPPLIED

1" CONTROL CONDUIT (min)

J-BOX FOR AC/DC DISTRIBUTION (BY CONTRACTOR)

ELECTRICAL SERVICE PANEL

NOTE: INFORMATION SHOWN SCHEMATICALLY. FIELD INSTALLATION WILL VARY.

Everbrite
MCDonald's USA, LLC

PRODUCT: MCD SWG ARM WPG DOUBLE
TITLE ASSY. MCD SWG ARM WPG DOUBLE
SCALE: 1/30 TYPE INSTALL SHEET 1 OF 1

Step 2 - Foundation(s):
Variable anchor bolts/condition are shown below. 3/8" Anchoring bolts are to be used; variable pin dimensions dependent upon curb and the conditions.

Rev. DESCRIPTION DATE APPROVED
A INITIAL RELEASE 08/03/10 JMW
K UPDATED FOUNDATION & WINDLOAD SPEC 08/03/12 JMW

Everbrite
MCDonald's USA, LLC

PRODUCT: MCD ARCADE BUILDING WPG
TITLE: DOUBLE WPG SWING ARM
SCALE: 1/32 TYPE INSTALL SHEET 1 OF 2

CIRCLE IS POSITIONED HORIZONTALLY, CENTERED ABOVE TYPE.

ARROW IS POSITIONED VERTICALLY AND HORIZONTALLY INSIDE OF CIRCLE.

ARROW ART KNOCKS OUT SO THAT ARROW IS THE COLOR OF THE PAVEMENT.

DRIVE THRU & ARROW
LATCH HEADS AND 8" HOLE TO MATCH PAINTING PANS 123 YELLOW TYPES ALIGNED CENTERED

2-10" DRIVE THRU
2-10" DRIVE THRU

TYPE IS POSITIONED VERTICALLY SO BASE OF TYPE ALIGNS WITH HORIZONTAL EDGE OF PATH STRIPING. DASHED LINE DOES NOT PRINT.

6'-8" THANK YOU DRIVE THRU

END OF PATH "THANK YOU" AND "DRIVE-THRU" NO ARROW
TYPE IS POSITIONED VERTICALLY SO BASE OF TYPE ALIGNS WITH HORIZONTAL EDGE OF PATH STRIPING. DASHED LINE DOES NOT PRINT.

WHITE PAINT STRIPING SPANS THE OUTER EDGE OF THE ENTIRE DRIVE-THRU PATH.

2-10" THANK YOU DRIVE THRU

Rev. DESCRIPTION DATE APPROVED
A INITIAL RELEASE 08/03/10 JMW
K UPDATED FOUNDATION & WINDLOAD SPEC 08/03/12 JMW

Everbrite
MCDonald's USA, LLC

PRODUCT: MCD ARCADE BUILDING WPG
TITLE: DOUBLE WPG SWING ARM
SCALE: 1/32 TYPE INSTALL SHEET 1 OF 2

DOUBLE ARROW
TO BE USED ON ALL SINGLE POINTS OF ENTRY AT ALL ACES AS QUATY TOWARDS THE TOP OF THE SIGN.

3'-0" 3'-2" 7'-8" 7'-8" 1'-0"

Rev. DESCRIPTION DATE APPROVED
A INITIAL RELEASE 07-29-16
MRV
DATE ISSUED 07-29-16

Everbrite
MCDonald's USA, LLC

PRODUCT: MCD ARCADE BUILDING WPG
TITLE: DOUBLE WPG SWING ARM
SCALE: 1/32 TYPE INSTALL SHEET 1 OF 2

PREPARED BY: V3 Companies
7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
WWW.V3CO.COM

PREPARED FOR: M. McDonald's USA, LLC

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Drawn By: BJD
Std Issue Date: 07-29-16
Reviewed By: MRV
Date Issued: 07-29-16

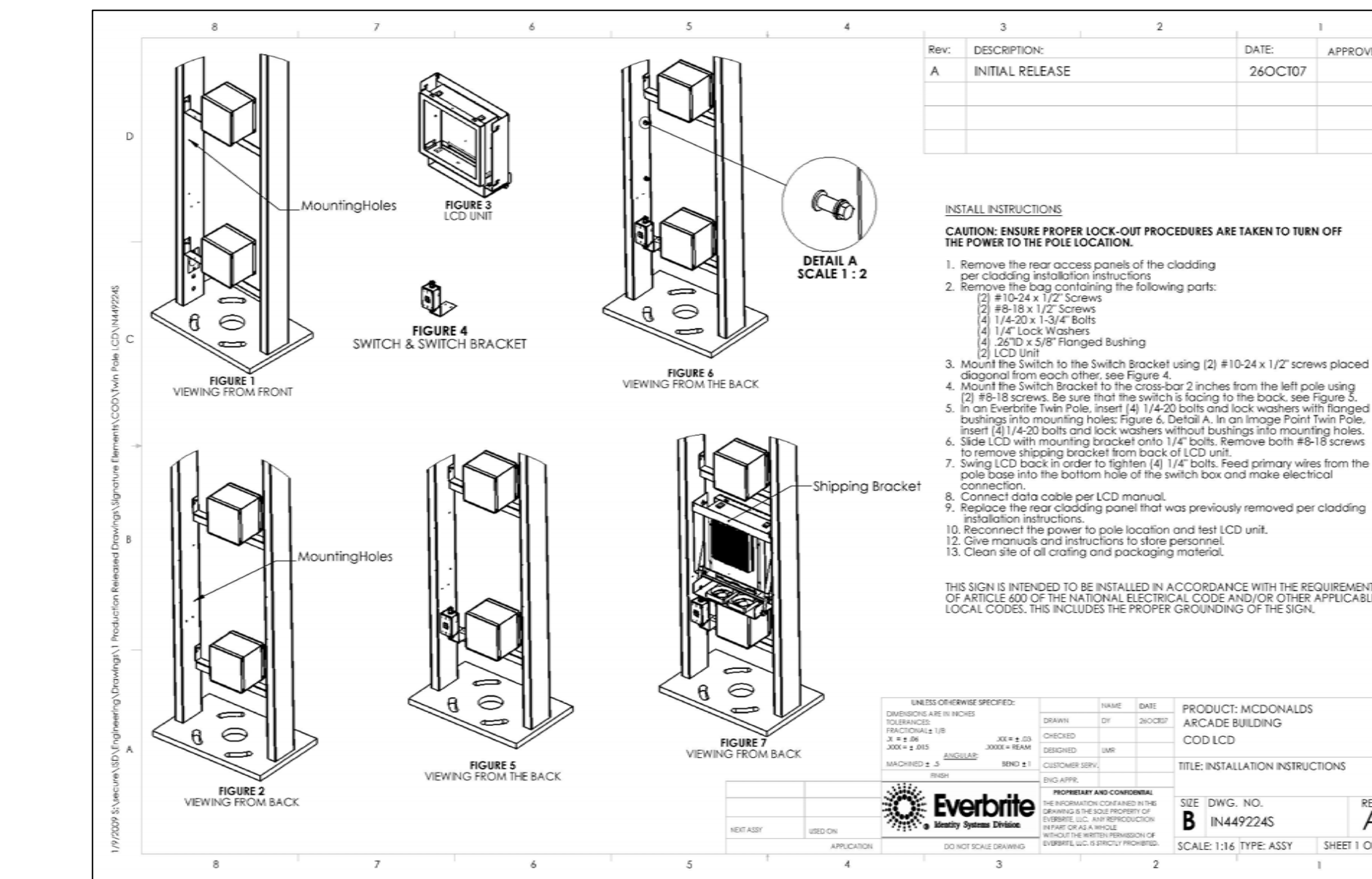
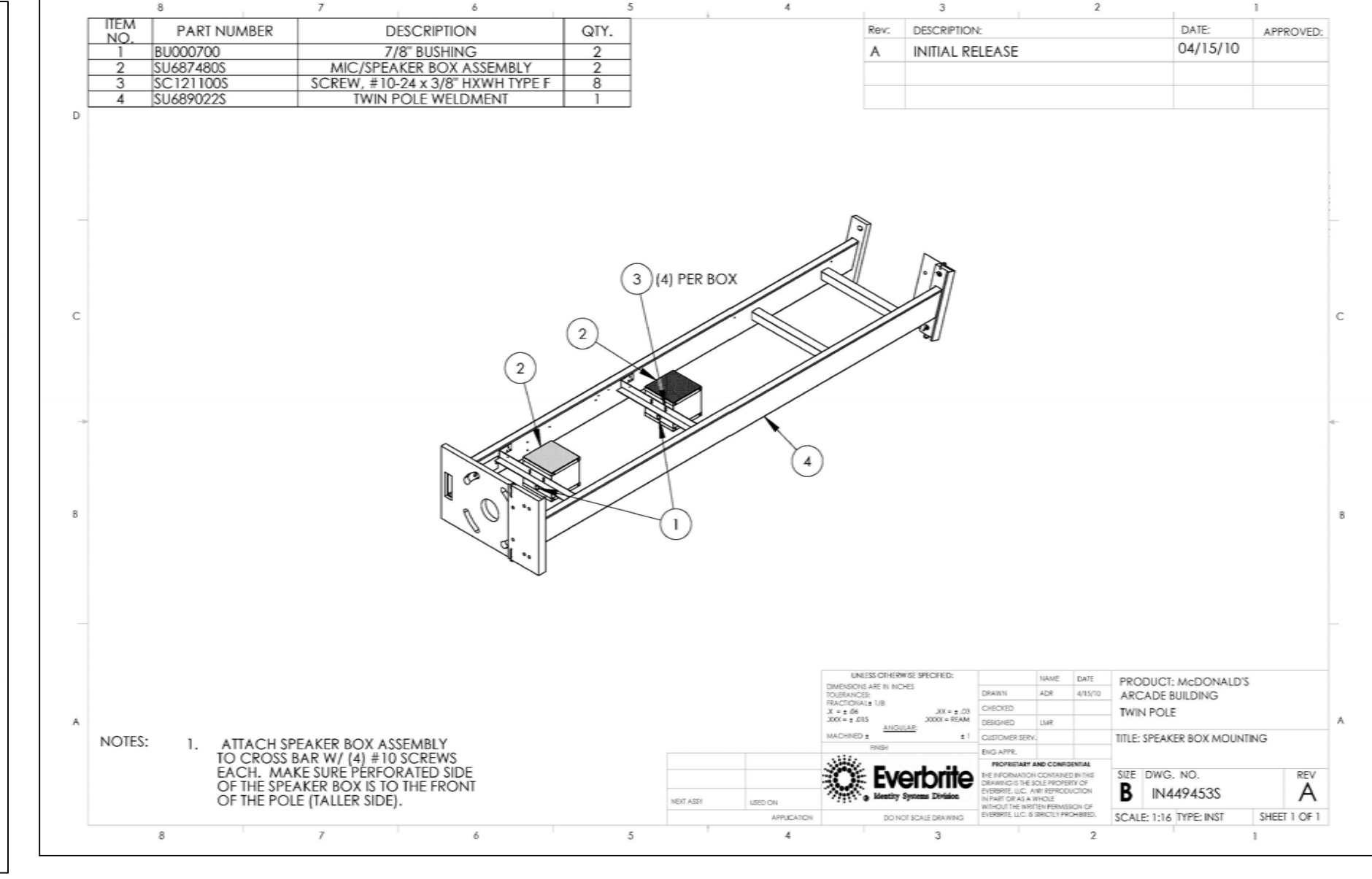
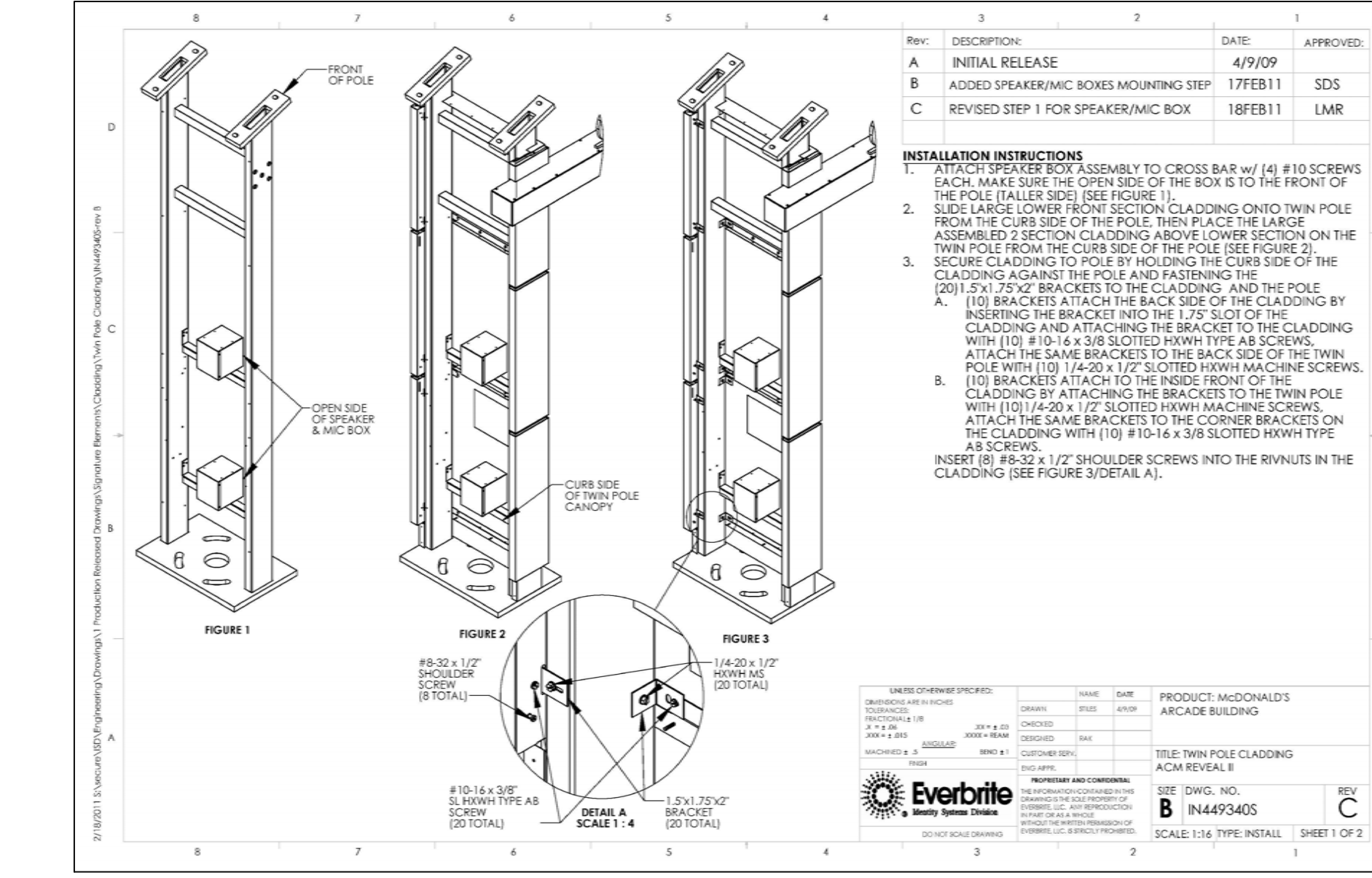
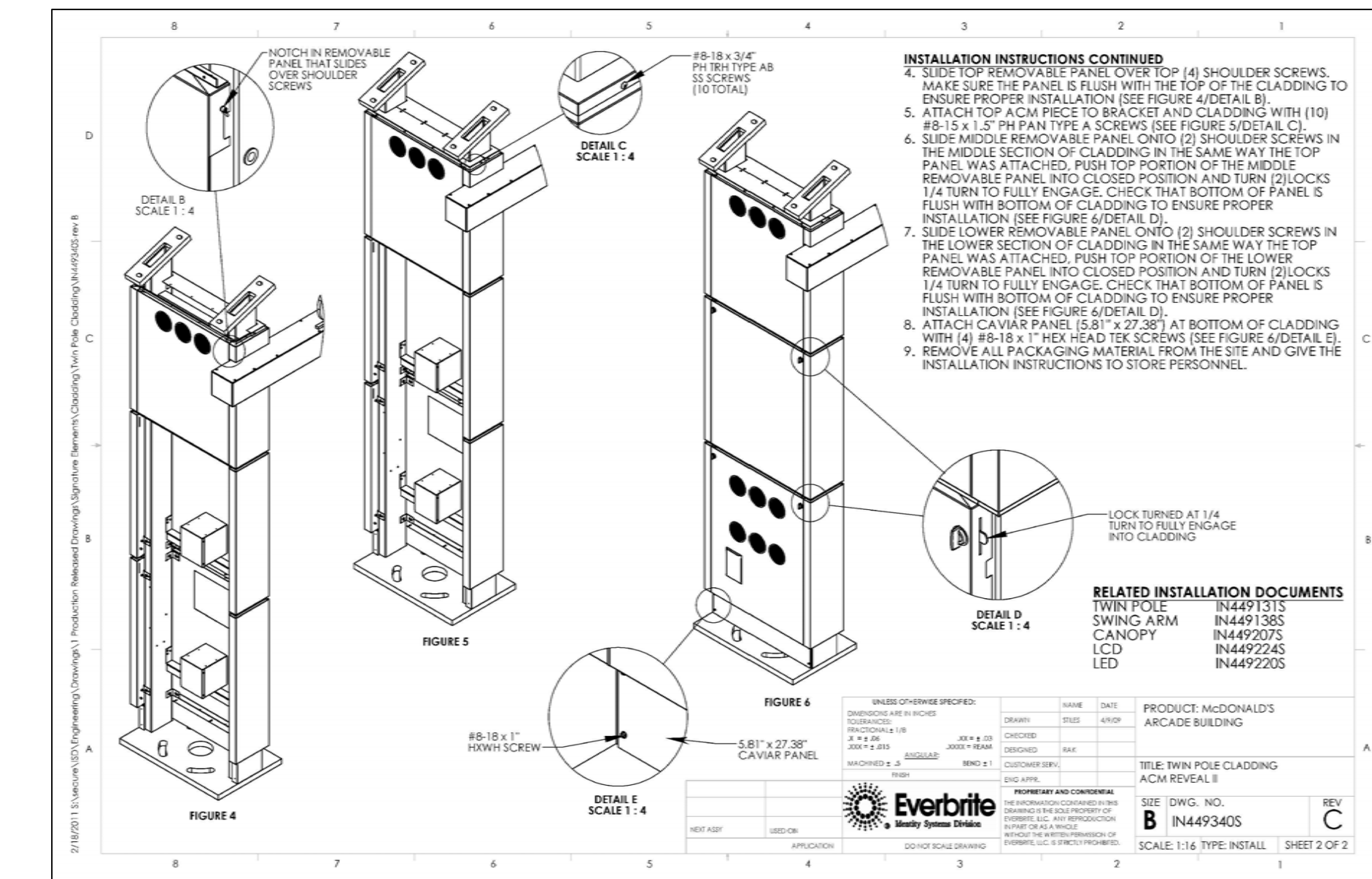
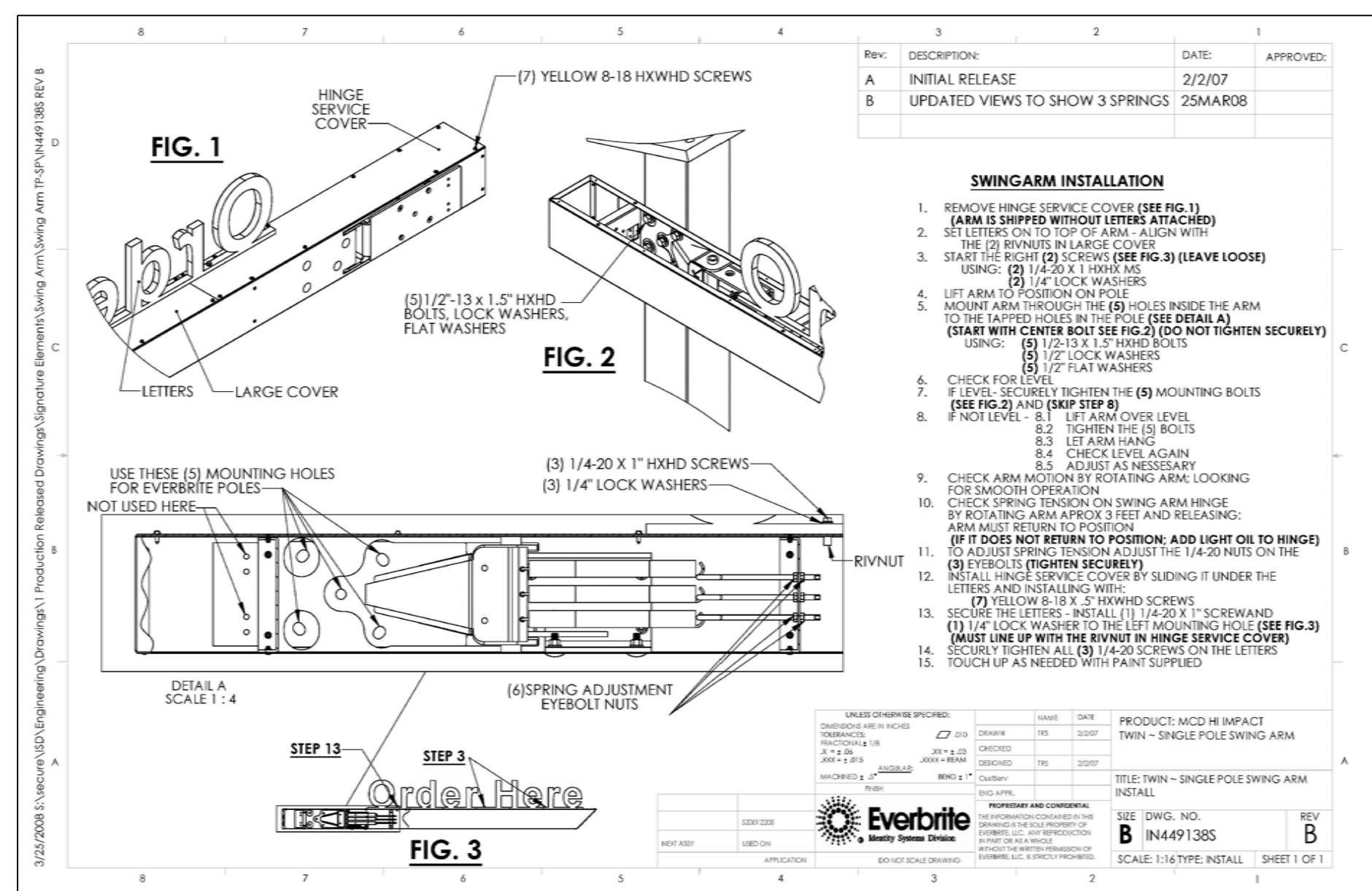
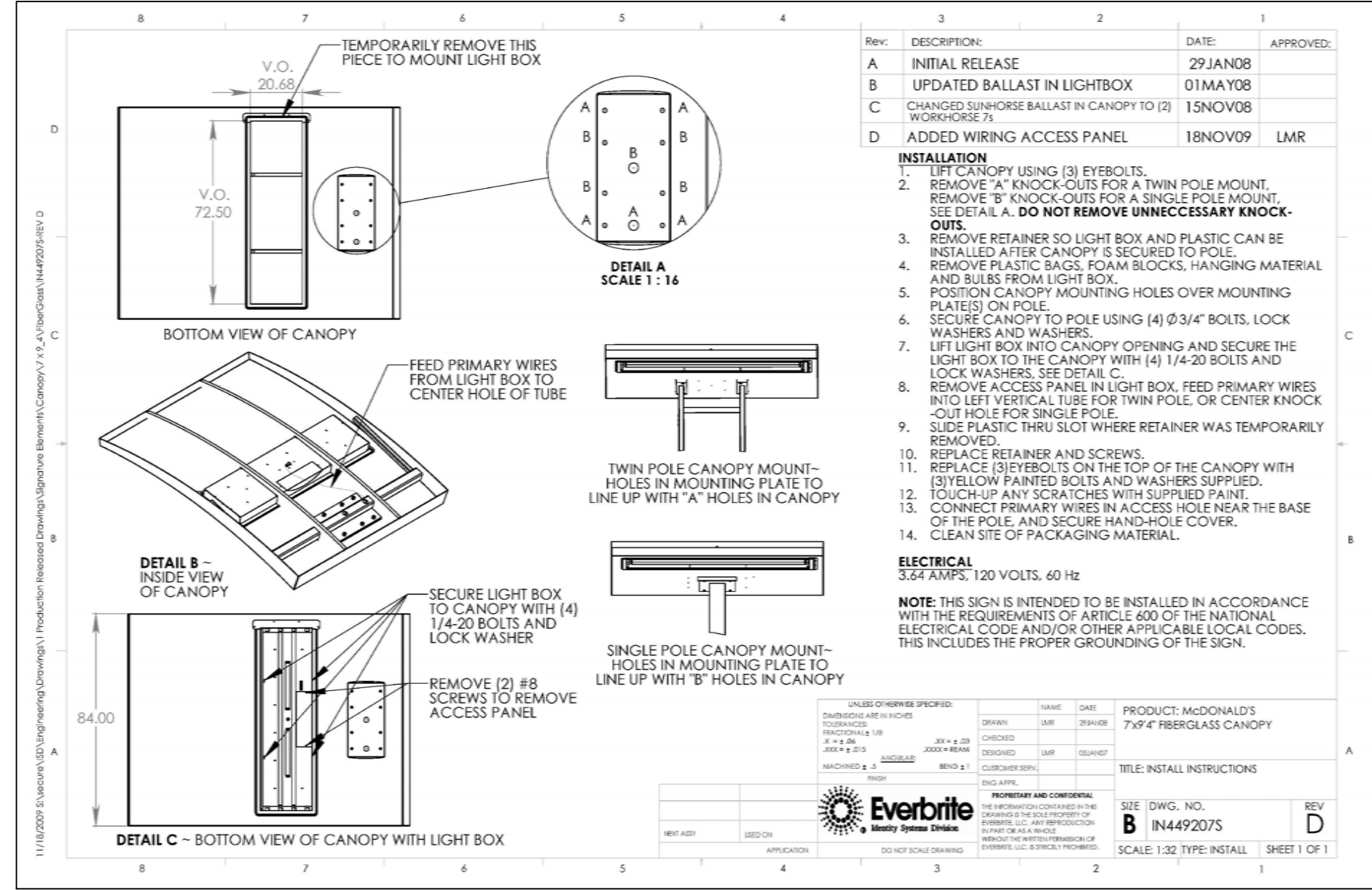
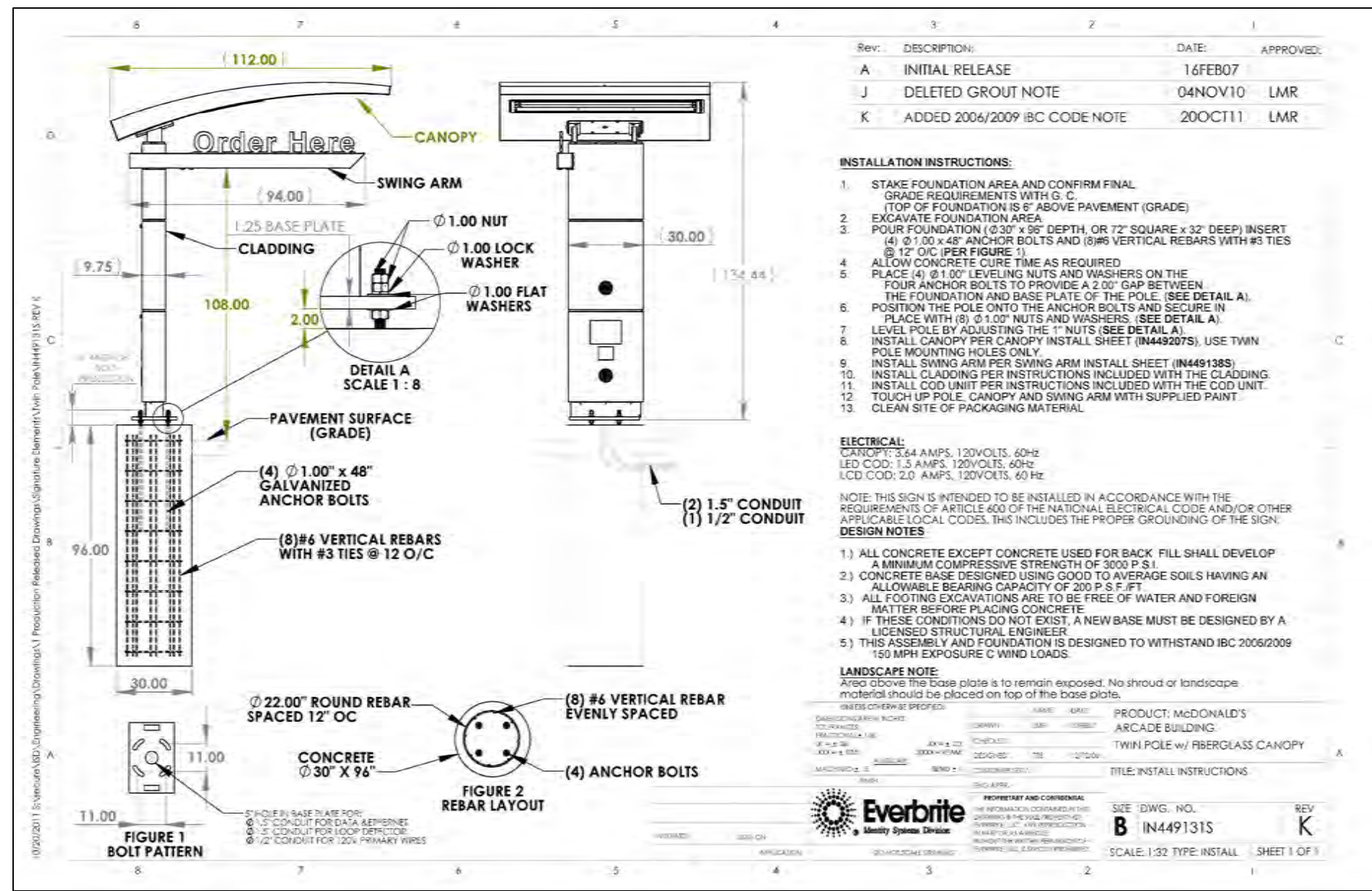
DESCRIPTION: MCDONALD'S - TINLEY PARK, ILLINOIS

SHEET NO. C-7.1
DRIVE-THRU DETAILS

TITLE: DRIVE-THRU DETAILS

SITE ADDRESS: 012-0262 17171 HARLEM AVE., TINLEY PARK

012-0262 C7.1 D DET02640.51MRP.DWG - 3/21/2017 2:03: PM

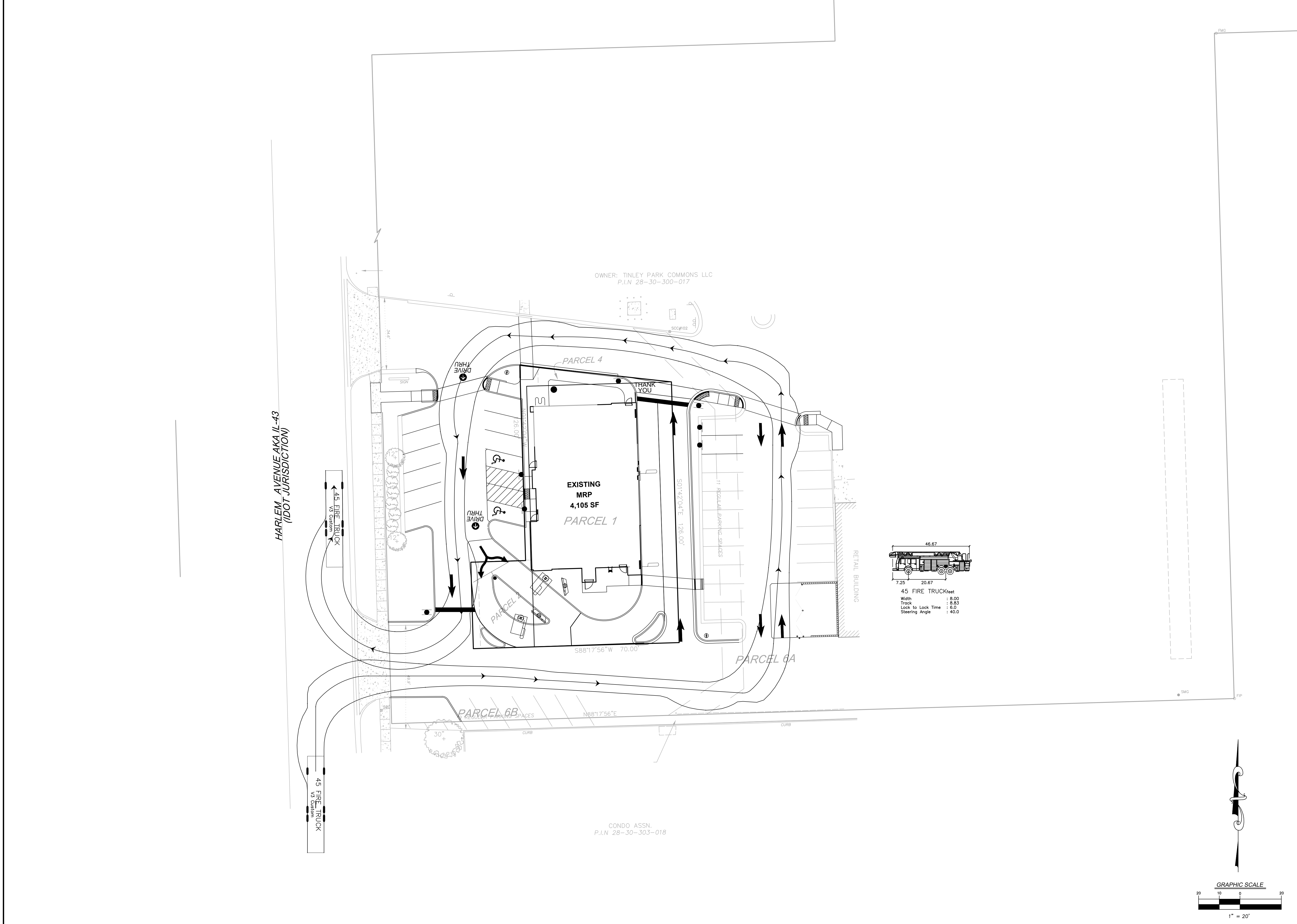


REV.	DATE	DESCRIPTION	BY

PREPARED BY:
M. McDonald's USA, LLC
 7325 Janes Avenue
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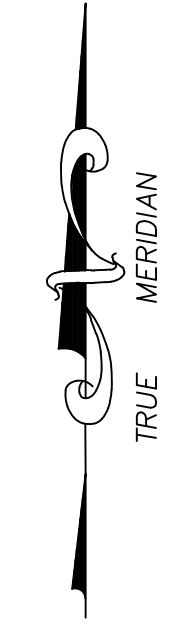
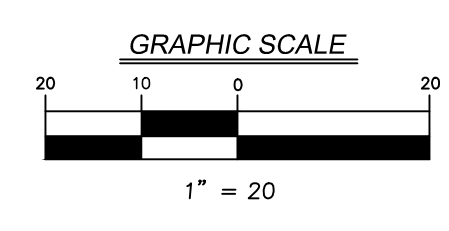
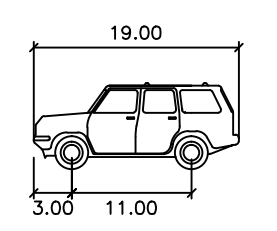
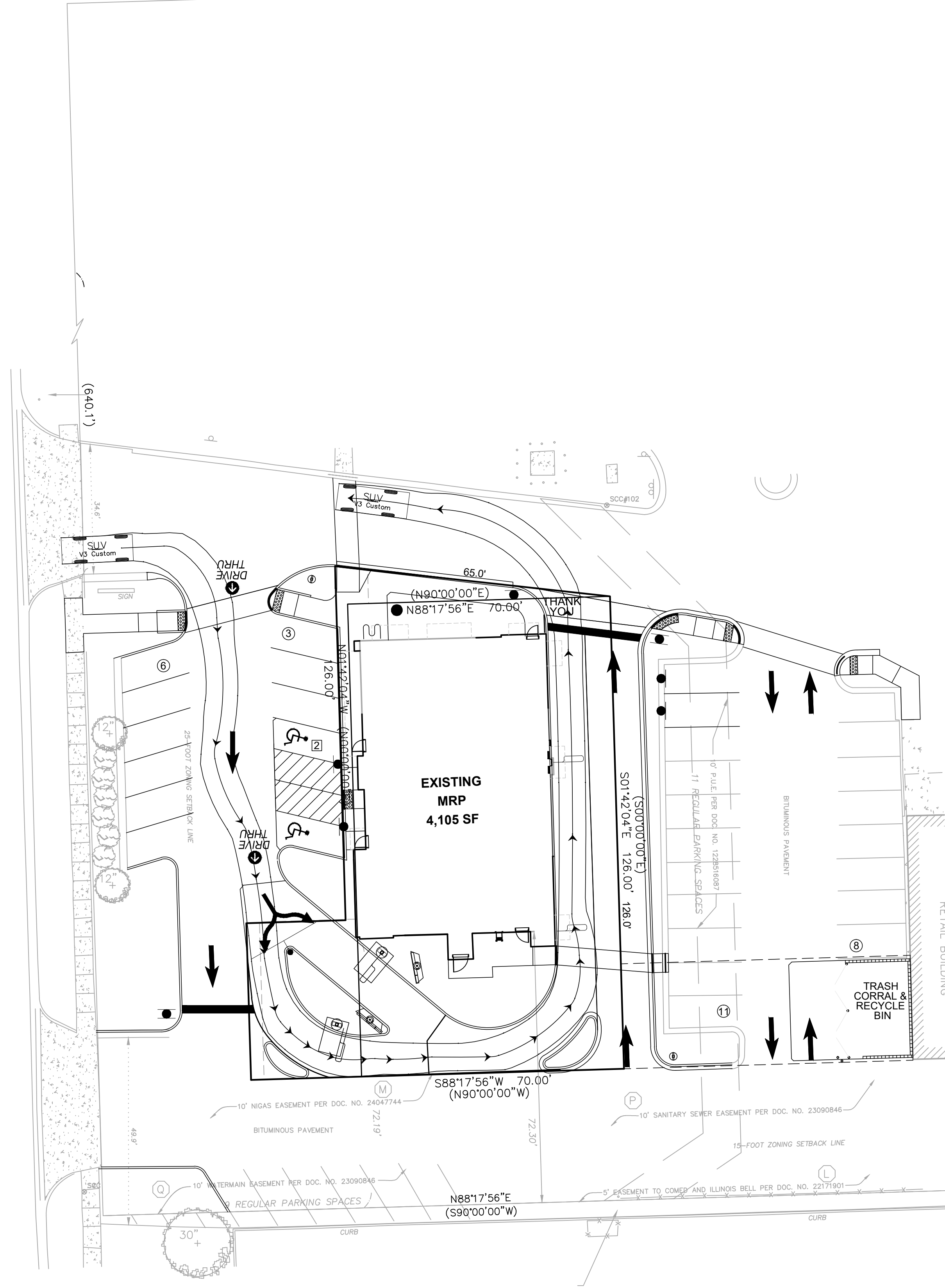
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TITLE: **DRIVE-THRU DETAILS**
 DESCRIPTION: **MCDONALD'S - TINLEY PARK, ILLINOIS**
 SITE ID: **012-0262 17171 HARLEM AVE., TINLEY PARK**
 DRAWN BY: **BUD**
 STD ISSUE DATE: **07-29-16**
 REVIEWED BY: **MRV**
 DATE ISSUED: **07-29-16**
 SHEET NO: **C-7.2**
 DRIVE-THRU DETAILS



TITLE 45' FIRE TRUCK ROUTE		DRAWN BY BID	DATE 03-21-17
DESCRIPTION MCDONALD'S - TINLEY PARK, ILLINOIS		REVIEWED BY MRV	DATE 03-21-17
SHEET NO. 012-****	SITE ADDRESS 012-0262 17171 HARLEM AVE., TINLEY PARK		
EX1 FIRE TRUCK ROUTE			
PREPARED FOR M. McDonald's USA, LLC		<p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without the express written consent of McDonald's USA, LLC. Use of these drawings on any other project is strictly prohibited. Reproduction of these drawings without the prior written consent of McDonald's USA, LLC is prohibited. Reproduction of these drawings for use on a different site or at a later time. Use of these drawings without the prior written consent of McDonald's USA, LLC is prohibited.</p>	
<p>V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com</p>		REV	DATE
DESCRIPTION		REV	DATE
BY			

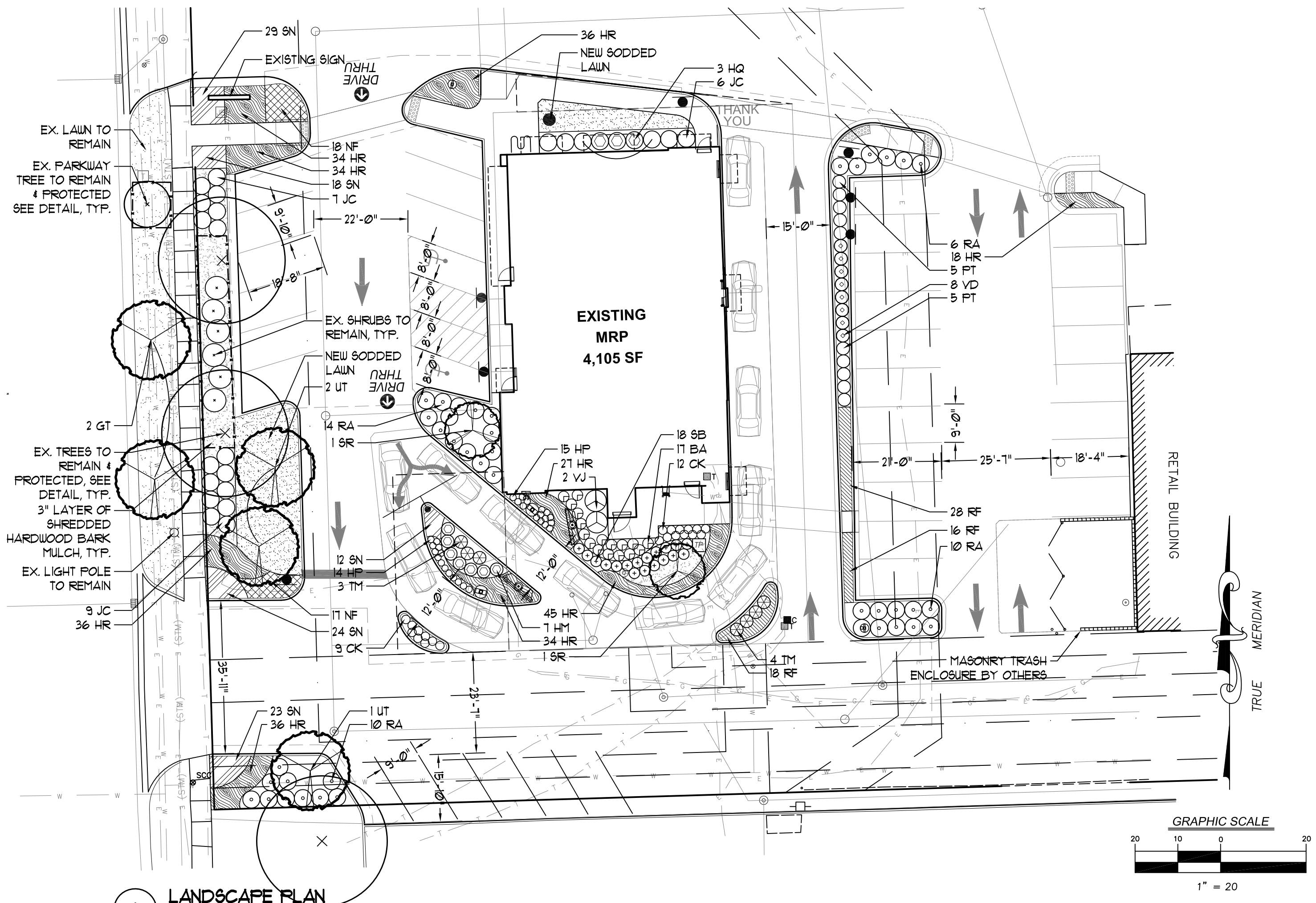
HARLEM AVENUE AKA IL-43
(IDOT JURISDICTION)



SHEET NO.	012-0262	TITLE	SUV ROUTE	DRAWN BY	KLS	SITE ADDRESS	012-0262 17171 HARLEM AVENUE
	EX2		DESCRIPTION		McDONALD'S - TINLEY PARK MAP		
DATE ISSUED	01-28-16	REVIEWED BY	AMU	DATE ISSUED	01-28-16	PREPARED FOR	McDonald's USA, LLC
	01-28-16		AMU		01-28-16		These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced for use on a different site or at a later time. Use of these drawings and specifications for any other project is prohibited. Reproduction of the contract documents for reuse on another project is not authorized.
DATE		REV		DESCRIPTION		PREPARED BY:	V3 Companies 7325 James Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com
BY							Visio, Vertere, Virtute... The Vision to Transform with Excellence

GENERAL NOTES

- ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL HAVE A MINIMUM OF FIVE YEARS EXPERIENCE WITH PROJECTS OF SIMILAR SIZE AND TYPE.
- SPECIES AND SIZES OF PLANTS LISTED IN THE PLANT LIST ARE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. IF SUBSTITUTIONS ARE REQUIRED, THE CONTRACTOR SHALL SUBMIT REQUESTS TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- QUANTITIES SHOWN ON THE DRAWING AND IN THE PLANT LIST ARE PROVIDED ONLY FOR THE CONTRACTOR'S CONVENIENCE. THE NUMBER OF PLANT SYMBOLS SHOWN ON THE DRAWINGS SUPERCEDE ALL QUANTITIES PROVIDED. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES ON THE DRAWINGS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANTS PER THE PLANT SYMBOLS SHOWN ON THE DRAWINGS.
- ALL OVERHEAD AND UNDERGROUND UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING OR EXCAVATION. IF UTILITIES OR OTHER OBSTRUCTIONS ARE DISCOVERED TO CONFLICT WITH GRADING, PLANT OR MATERIALS PLACEMENT, NOTIFY THE LANDSCAPE ARCHITECT SO THAT ADJUSTMENTS MAY BE MADE PRIOR TO PROCEEDING.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PROTECT EXISTING PLANTS, LAWN AREAS, FENCES, SITE FEATURES AND PAVING TO REMAIN. ANY DAMAGE TO THESE EXISTING AREAS OR FEATURES SHALL BE REPLACED BY THE CONTRACTOR AT THEIR EXPENSE. DAMAGED LAWN AREAS SHALL BE TILLED, RE-GRADED, TOPSOIL ADDED AS NEEDED AND BE RESTORED WITH SOD. REPLACED FEATURES, PLANTS AND SOD SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR.
- IMPORTED TOPSOIL FOR THIS PROJECT SHALL BE FRIABLE LOAM OR SANDY LOAM, COMPRISED OF BETWEEN 20% AND 50% SILT, 10% AND 25% CLAY, AND 30% AND 60% SAND. THE PH LEVEL SHALL BE BETWEEN 6.0 AND 12 AND THE ORGANIC MATTER CONTENT SHALL BE BETWEEN 3% AND 6%. TOPSOIL SHALL BE FREE OF SEEDS, STONES, LARGE CLUMPS, ROOTS, LEAVES AND DEBRIS, AND SHALL NOT BE DELIVERED WHILE IN A FROZEN OR MUDDY CONDITION. CONTRACTOR SHALL PROVIDE A RECENT SOIL TEST ANALYSIS FOR ALL SOIL TO BE USED. THE ANALYSIS MUST INCLUDE THE INFORMATION REQUIRED ABOVE. IF TESTED TOPSOIL REQUIRES AMENDMENTS TO COMPLY WITH REQUIREMENTS, CONTRACTOR SHALL AMEND THE TOPSOIL, RE-TEST AND RESUBMIT THE ANALYSIS FOR APPROVAL PRIOR TO BRINGING THE TOPSOIL ON SITE.
- EXISTING TOPSOIL FROM ON SITE THAT HAS BEEN STOCKPILED MAY BE USED IF IT MEETS THE REQUIREMENTS FOR IMPORTED TOPSOIL. THIS INCLUDES CONDUCTING SOIL TEST ANALYSIS AND ADDING AMENDMENTS AS NEEDED SO THAT THE SOIL COMPLIES WITH THE REQUIREMENTS.
- SOD SHALL BE A TALL FESCUE BLEND SOD, SUCH AS RHIZOMATOUS TALL FESCUE (RTF), BLACK BEAUTY OR APPROVED EQUAL. BLUEGRASS BLEND SOD IS NOT ACCEPTABLE, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL MUST BE SPECIMEN QUALITY, TRUE TO SPECIES AND VARIETY, WITH FULL, DENSE AND HEALTHY FORMS. PLANTS THAT ARE NOT SPECIMEN QUALITY WILL NOT BE ACCEPTED. ALL PLANTS MUST HAVE BEEN LOCALLY GROWN AT A STATE INSPECTED AND CERTIFIED NURSERY, LOCATED WITHIN 50 MILES OF THE PROJECT SITE.
- ALL DECIDUOUS TREES AND SHRUBS THAT ARE 36" HEIGHT OR TALLER ARE TO HAVE FRESHLY DUG, BALLED AND BURLAPPED ROOT BALLS WITH SIZES THAT MEET THE STANDARDS OF THE AMERICAN NURSERYMEN'S ASSOCIATION. DECIDUOUS AND EVERGREEN SHRUBS THAT ARE 30" HEIGHT OR LESS MAY EITHER HAVE FRESHLY DUG, BALLED AND BURLAPPED ROOT BALLS OR MAY BE CONTAINER GROWN. ALL PERENNIALS, ORNAMENTAL GRASSES AND GROUNDCOVERS MUST BE CONTAINER GROWN. CONTAINER GROWN MATERIALS SHALL HAVE BEEN GROWN IN THEIR CURRENT CONTAINER FOR A PERIOD OF NO LESS THAN SIX MONTHS.
- ALL TREES SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT, AT THE NURSERY, PRIOR TO DIGGING. TREES THAT ARE ACCEPTABLE WILL BE SEALED. ALL SEALS APPLIED BY THE LANDSCAPE ARCHITECT MUST REMAIN ON THE TREES AND ARE NOT TO BE REMOVED BY THE CONTRACTOR. ALL TREES MUST HAVE SEALS IN PLACE AT TIME OF ACCEPTANCE OR WILL BE AUTOMATICALLY REJECTED. HEEL-ED-IN TREES WILL NOT BE ACCEPTED WITHOUT PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT.
- PLANT MATERIAL SHALL ONLY BE INSTALLED WITHIN THE FOLLOWING DATES:
 DECIDUOUS TREES AND SHRUBS: APR 1 THROUGH NOV 15
 SPRING DIG DECIDUOUS TREES: APR 1 THROUGH OCT 15
 EVERGREEN TREES AND SHRUBS: APR 1 THROUGH NOV 1
 PERENNIALS AND GROUNDCOVERS: MAY 1 THROUGH OCT 15.
- TEST TREE PITS AND PLANT BEDS FOR ADEQUATE DRAINAGE. FILL PLANT PIT WITH 12" OF WATER. IF WATER LEVEL DOES NOT DROP A MINIMUM OF ONE INCH PER HOUR, NOTIFY THE LANDSCAPE ARCHITECT OF DRAINAGE ISSUES.
- PLANTING MIX FOR ALL PLANTINGS SHALL BE AS FOLLOWS. MIXING OF PLANTING MIX COMPONENTS SHALL BE THOROUGHLY BLENDED OUTSIDE THE PLANTING PITS, PRIOR TO PLANTING.
 TREES AND SHRUBS: 80% TOPSOIL, 10% SAND, 10% PINE FINES
 PERENNIALS AND ANNUALS: 10% TOPSOIL, 15% SAND, 15% PINE FINES
- FOR PLANTING MIXES, SAND SHALL BE ANGULAR, COARSE SAND AND PINE FINES SHALL BE 3/8" SOUTHERN PINE BARK FINES.
- EXCAVATE PARKING LOT ISLANDS AND CURBED PLANTERS TO A DEPTH OF 18" AND BACKFILL WITH TOPSOIL. BERM PLANTERS AND ISLANDS TO A HEIGHT OF 6" ABOVE TOP OF CURB.
- THE CONTRACTOR SHALL REQUEST AN INSPECTION OF LANDSCAPE PLANTING UPON SUBSTANTIAL COMPLETION FOR "ACCEPTANCE". REQUEST MUST BE SUBMITTED TO LANDSCAPE ARCHITECT AT LEAST TEN DAYS PRIOR TO ANTICIPATED INSPECTION. UPON INSPECTION THE LANDSCAPE ARCHITECT SHALL PREPARE A PUNCH LIST OF UNACCEPTABLE OR OUTSTANDING ITEMS. AFTER THE ITEMS HAVE BEEN SATISFACTORILY COMPLETED AND REVIEWED, THE LANDSCAPE ARCHITECT WILL RECOMMEND "ACCEPTANCE".
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF "ACCEPTANCE". AT OR NEAR THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL REQUEST AN INSPECTION OF LANDSCAPE PLANTING FOR "FINAL ACCEPTANCE". REQUEST MUST BE SUBMITTED TO LANDSCAPE ARCHITECT AT LEAST TEN DAYS PRIOR TO ANTICIPATED INSPECTION. UPON INSPECTION THE LANDSCAPE ARCHITECT SHALL PREPARE A PUNCH LIST OF UNACCEPTABLE ITEMS. AFTER THE ITEMS HAVE BEEN SATISFACTORILY REPLACED OR REPAIRED, REVIEWED AND APPROVED, THE LANDSCAPE ARCHITECT WILL RECOMMEND "FINAL ACCEPTANCE".



1 LANDSCAPE PLAN
SCALE: 1"=20'-0"

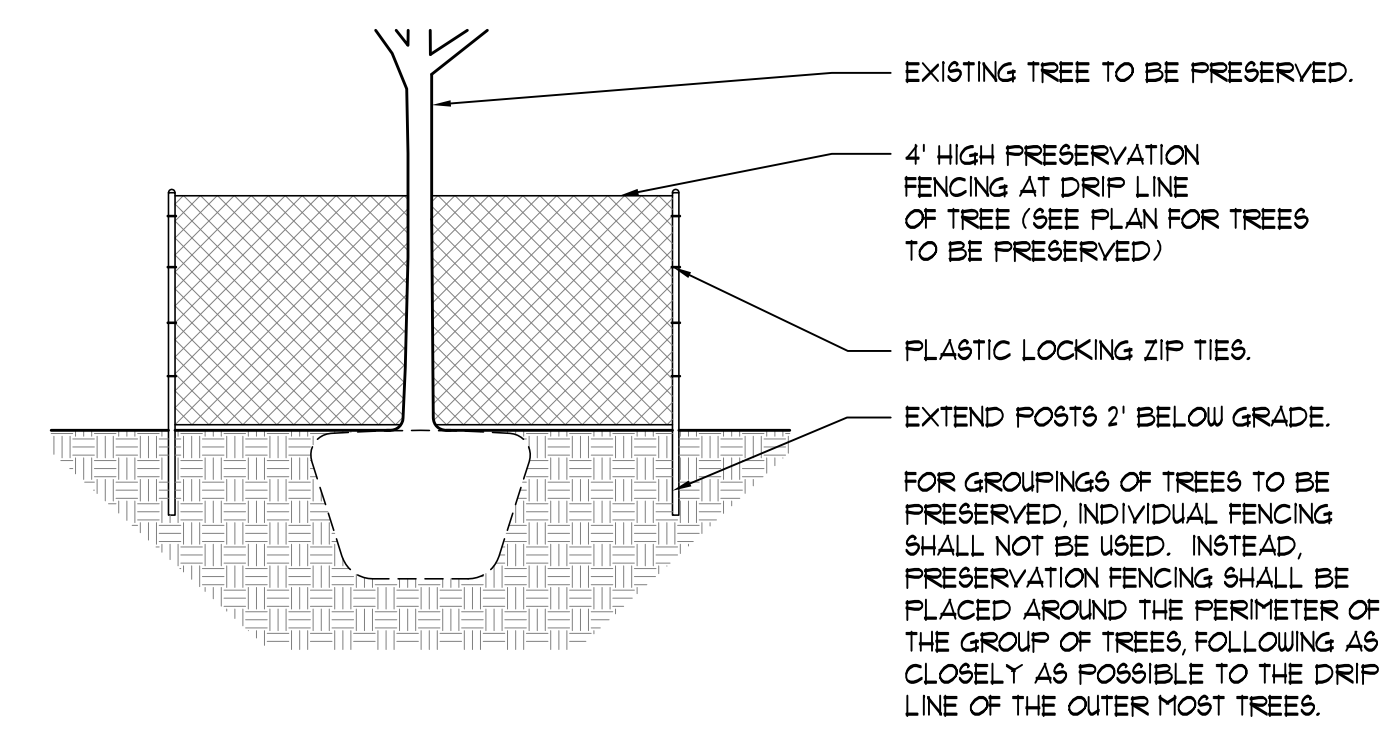
PLANT LIST

CODE	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TOTAL	ADDITIONAL NOTES
DECIDUOUS TREES						
GT	GLADIOLIA TRIACANTHOS VAR. INERMIS	SKYLINE HONEYLOCUST	2.5" CALIFER	B 4 B	2	BRANCHED UP 5'
SR	STYRINGIA RETICULATA	JAPANESE TREE LILAC	2.5" CALIFER	B 4 B	2	BRANCHED UP 4'
UT	ULMUS x 'MORTON GLOSSY'	TRIUMPH ELM	2.5" CALIFER	B 4 B	3	BRANCHED UP 5'
DECIDUOUS SHRUBS						
HM	HYDRANGEA QUERCIFOLIA 'MUNCHKIN'	MUNCHKIN OAKLEAF HYDRANGEA	24" HEIGHT	CONTAINER	1	
HQ	HYDRANGEA PANICULATA 'QUICK FIRE'	QUICK FIRE HYDRANGEA	30" HEIGHT	CONTAINER	3	
PT	PHYTOSCARPUS OP. 'TINY WINE 'SMPTW' PPAF	TINY WINE NINEBARK	18" HEIGHT	CONTAINER	10	
RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	24" SPREAD	CONTAINER	40	
SB	SPIRAEA BETULIFOLIA 'TOR'	TOR BIRCHLEAF SPIREA	18" HT/SPD	CONTAINER	18	
VD	VIBURNUM DENTATUM BLUE MUFFIN 'CHRISTOM'	BLUE MUFFIN ARROWWOOD VIBURNUM	30" HEIGHT	B 4 B	8	
VJ	VIBURNUM x JUDDI	JUDD VIBURNUM	36" HEIGHT	B 4 B	2	

PLANT LIST

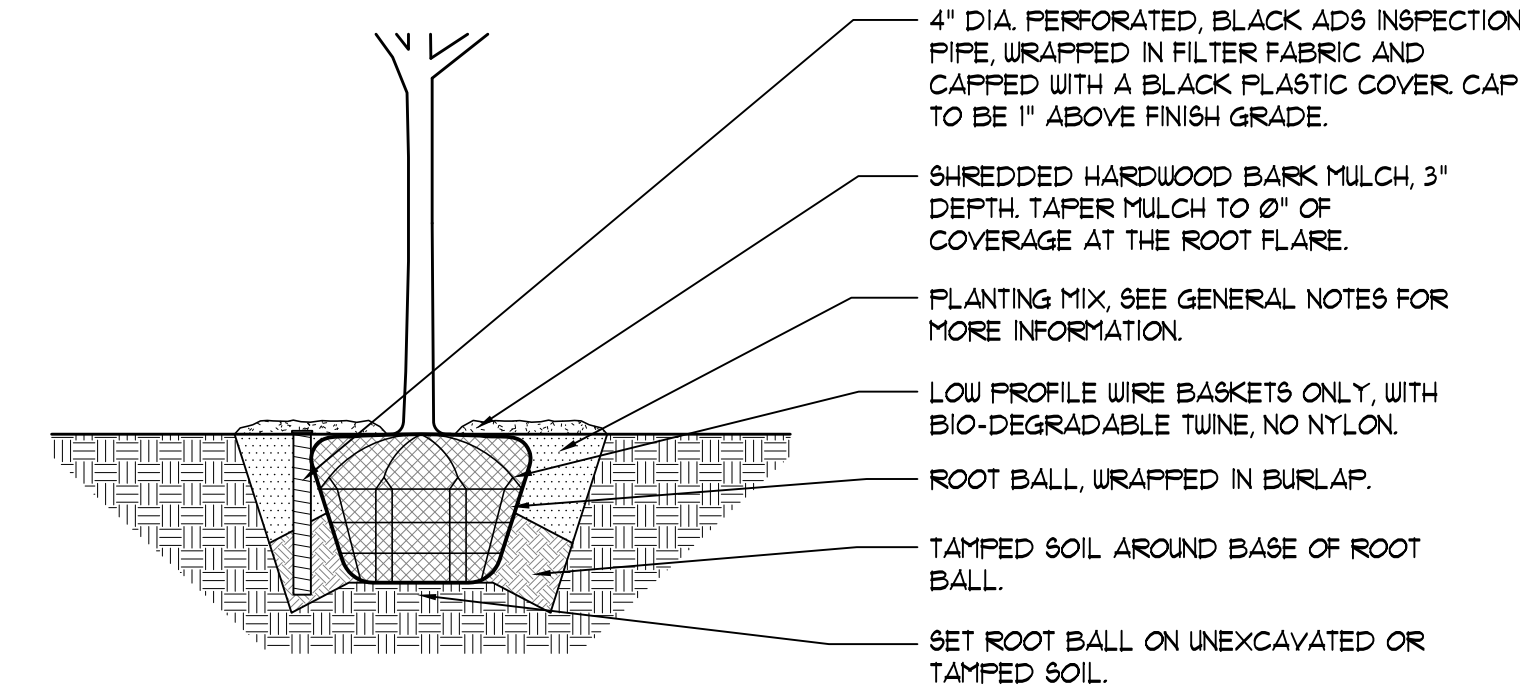
CODE	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TOTAL	ADDITIONAL NOTES
EVERGREEN SHRUBS						
JC	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	3 GALLON	CONTAINER	22	
TM	TAXUS x MEDIA 'RYNYAN'	RYNYAN DENSE YEW	24" HT 4 SPD	B 4 B	1	
PERENNIALS, ORNAMENTAL GRASSES AND GROUNDCOVERS						
BA	BAPTISIA AUSTRALIS	FALSB INDIGO	1 GALLON	CONTAINER	17	SPACED AS SHOWN
CK	CALAMAGROSTIS A. 'KARL FOERSTER'	FEATHER REED GRASS	1 GALLON	CONTAINER	21	SPACED AS SHOWN
HP	HEUCHERA 'PURPLE PETTICOATS'	PURPLE PETTICOATS CORAL BELLS	1 GALLON	CONTAINER	29	SPACED AS SHOWN
HR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GALLON	CONTAINER	150	SPACED 18" O.C.
	HEMEROCALLIS 'ROSY RETURNS'	ROSY RETURNS DAYLILY	1 GALLON	CONTAINER	150	EVENLY MIXED
NF	NEPETA x FAASSENII	FAASSENII CATMINT	1 GALLON	CONTAINER	35	SPACED 24" O.C.
RF	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK-EYED SUSAN	1 GALLON	CONTAINER	31	SPACED 18" O.C.
	ECHINACEA PURPUREA 'MAGNUS'	MAGNUS PURPLE CONEFLOWER	1 GALLON	CONTAINER	31	EVENLY MIXED
SN	SALVIA NEMEROSA 'EAST FRIESLAND'	EAST FRIESLAND MEADOW SAGE	1 GALLON	CONTAINER	106	SPACED 18" O.C.

FENCING SHALL BE LOCATED AS SHOWN ON THE PLAN. FENCE SHALL BE PLACED SO THAT THE POSTS FACE THE TREE. AFTER INSTALLING ALL POSTS, TIGHTLY WRAP THE FABRIC ACROSS THE POSTS TO PREVENT SAGGING. POSTS SHALL BE PLACED A MAXIMUM OF 6' ON CENTER. SAFETY FENCE FABRIC SHALL BE ORANGE CONTRACTOR'S GRADE 50MESH TOP DIAMOND PLASTIC FENCE. POSTS SHALL BE 6' LONG HEAVY DUTY GALVANIZED STEEL T-POSTS SET TO A DEPTH OF 2' BELOW GRADE. POST SHALL NOT BE DRIVEN INTO EXISTING ROOTS. LOCKING TIES SHALL BE 3" PLASTIC LOCKING ZIP TIES, 4 PER POST. ANY ALTERATIONS TO THE FENCING LAYOUT MUST BE APPROVED BY LANDSCAPE ARCHITECT.



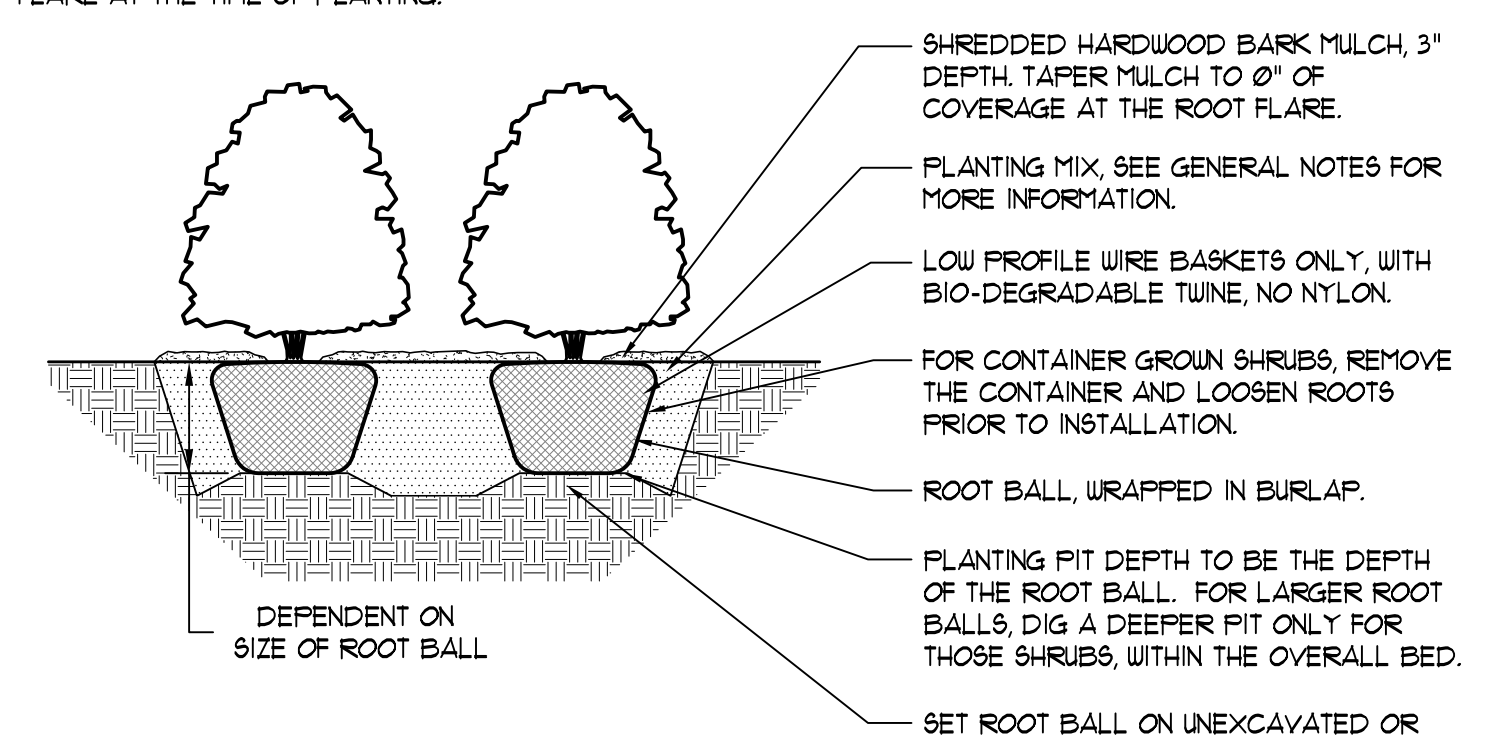
1 TREE PRESERVATION DETAIL - SNOW MESH FENCING
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. TREE PIT WIDTH TO BE EXTENDED 12" AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE DETAIL BELOW. TEST TREE PIT FOR DRAINAGE PRIOR TO INSTALLING TREE. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. FOR TREES UP TO 4" CALIFER OR 12" HEIGHT, REMOVE APPROXIMATELY 5%-10% OF THE OVERALL BRANCHING. FOR TREES OVER 4" CALIFER OR 12" HEIGHT, REMOVE APPROXIMATELY 15%-20% OF THE OVERALL BRANCHING. LOCATE ROOT FLARE IN ROOT BALL AND SET TREE HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE TREE PLUMB. STRAIGHTEN TREE IF SETTLING OCCURS. CONTRACTOR TO UN-TIE AND REMOVE TWINE FROM AROUND ROOT FLARE OF TREE AT THE END OF THE WARRANTY PERIOD.



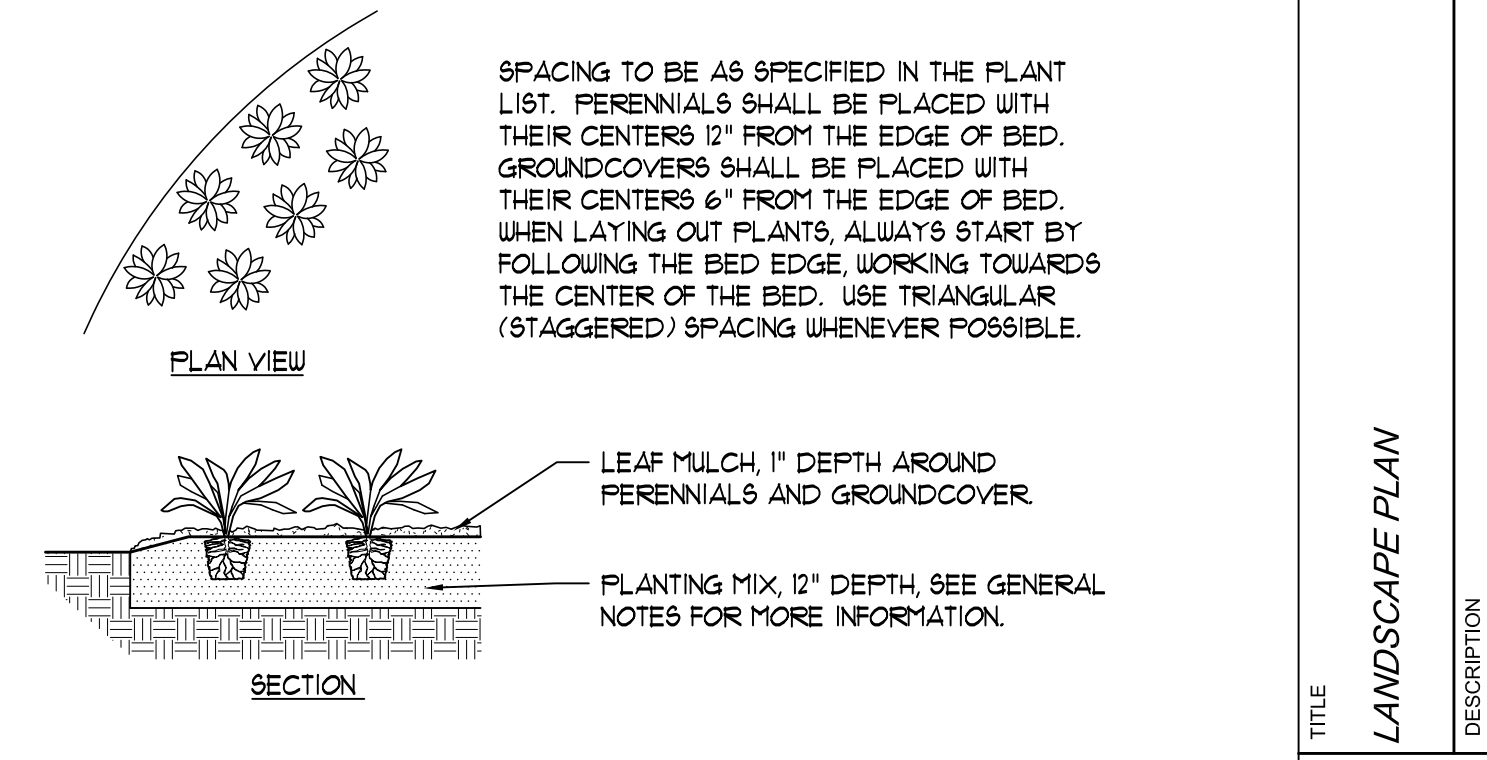
2 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. SHRUB PIT WIDTH TO BE EXTENDED 9" AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE DETAIL BELOW. TEST SHRUB PIT FOR DRAINAGE PRIOR TO INSTALLING SHRUB. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. LOCATE ROOT FLARE IN ROOT BALL AND SET SHRUB HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE SHRUB PLUMB. STRAIGHTEN SHRUB IF SETTLING OCCURS. MULCH LIMITS FOR SHRUBS TO EXTEND TO ALL EDGES OF PLANTING BEDS, SEE PLANS FOR BED LAYOUTS. CONTRACTOR TO UN-TIE AND REMOVE TWINE FROM AROUND ROOT FLARE AT THE TIME OF PLANTING.



3 SHRUB PLANTING DETAIL
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. EXCAVATE ENTIRE PERENNIAL / GROUNDCOVER BED, AND BACKFILL WITH PLANTING MIX AS SPECIFIED. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED. MULCH LIMITS FOR PERENNIAL BEDS TO EXTEND TO ALL EDGES OF THE BEDS, SEE PLANS FOR BED LAYOUTS. SEE PLANT LIST FOR PLANT SPACING. GAPS BETWEEN PLANTS SHALL BE NO GREATER THAN THE SPECIFIED SPACING FOR THAT PARTICULAR PLANT.



4 PERENNIAL AND GROUNDCOVER PLANTING DETAIL
NOT TO SCALE

PREPARED BY: V3 Companies
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 Woodridge, IL 60517
 630.724.9200 phone
 630.724.9202 fax
 WWW.V3CO.COM

REVISIONS:

NO.	DATE	REV	DESCRIPTION
1	03-16-17		REVISED PER CITY COMMENTS

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DRAWN BY: MMB
 STD ISSUE DATE: 07-27-16
 REVIEWED BY: MMS
 DATE ISSUED: 07-27-16

TITLE: LANDSCAPE PLAN
 DESCRIPTION: McDONALD'S - TINLEY PARK MAP
 SITE ADDRESS: 012-0262 17171 HARLEM AVENUE

SHEET NO: 012-0262
L-1.0
 LANDSCAPE PLAN

06240.51 - LANDSCAPE PLAN
 2017-03-10_L1 (MMB).DWG - 3/16/2017 11:00 AM